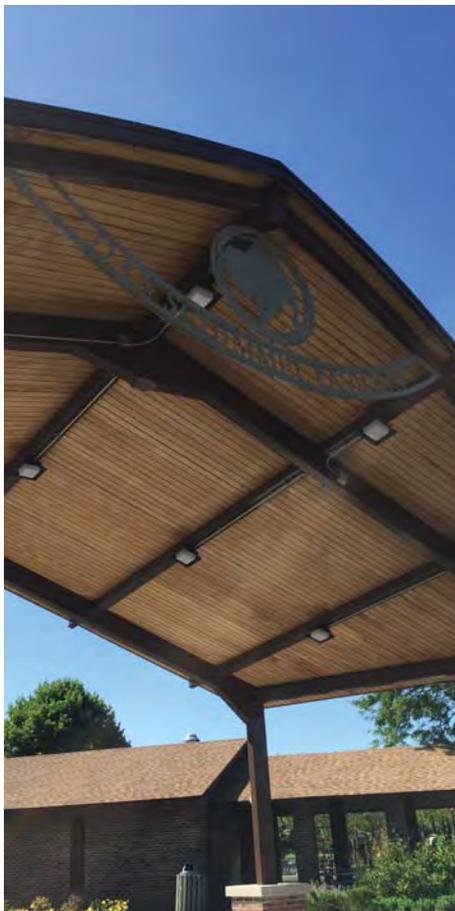




BUFFALO
GROVE
PARK
DISTRICT

Comprehensive Master Plan

2017 and Beyond





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I Executive Summary

OVERVIEW

Buffalo Grove Park District (BGPLD) has worked collaboratively with Planning Resources Inc. to develop a Comprehensive Master Plan. This plan will help guide the District in making better more-informed decisions for the future of the community. Buffalo Grove enjoys economic stability and offers its residents a plethora of green space, parkland, trails, golf courses and more. Parks and open spaces are one of the most visible elements of the District and can instill a strong sense of pride in the residents of the community. A great park district lets citizens, visitors, and staff know that the leadership of the District is interested in providing the best for its citizens. The leadership of the BGPLD has long been recognized for its great teamwork,

excellent work ethic, and overall concern for its residents. The District recognizes that recreation plays a critical role in the quality of life for the residents of Buffalo Grove. They also believe that a strong park district promotes multi-generational recreation, activities and trail systems which provide healthier environments, improves well-being of young and old, and reduces the potential for crime in the community.

The purpose of this Comprehensive Master Plan is to provide an assessment of the current system, to allow the citizens and other focus groups to voice their opinions regarding their desires and concerns about the District,

and to provide a set of recommendations and priorities that will guide the District in shaping its future.

Methodology

The planning process for the Comprehensive Master Plan was guided by the BGPLD Executive Director, the elected Park Board, the staff and the public via an input and engagement process. District representatives met with the PRI Team and provided input throughout the plan development. This collaborative effort fully engaged the consultant's expertise and incorporated local knowledge and institutional history.

RECOMMENDATIONS

Recommendations are the blueprint for action and are key components of the master planning process. The master planning recommendations are shaped by public input, facility assessments, and sound park and recreation planning practices. Based on the research, analyses, visioning and evaluation that are completed, recommendations have been formulated that expand on the philosophies of the agency and provide direction for the Park District. The recommendations are expressed as short, mid and long-term action items that will work toward realization of BGPD's long-term goals. Over the next 3 to 5 years, many influences will have an impact on the success of this plan. Funding availability, staff resources, and political and community support will play roles in this implementation process. BGPD residents recognize the many benefits of parks, trails and recreation facilities that have been built upon the District's long-standing tradition of providing parks and conserving open spaces. Parks, trails and recreation facilities support healthy lifestyles, protect ecosystem services, enhance economic activities and sustain a strong sense of community. The BGPD plays a critical role in leading the community into the future through its adopted mission and values. The vision of the District strengthens a high quality of life for the entire community and the Mission meets community needs by providing an interconnected system of parks, trails, recreation facilities, and natural areas that support environmental stewardship, diverse recreational opportunities and economic development.

COMPREHENSIVE MASTER PLAN

The master plan involved a comprehensive, community-driven method that evaluated the current conditions of the BGPD open space and recreational facilities. The team evaluated not only the vision, mission, and goals, but the recommendations and other implementation tools as well. Community outreach was conducted to ensure a broad, effective and defensible public involvement process. This was integral to the development of the plan. The planning method also included an assessment of local and statewide recreational trends as a means to examine park and outdoor recreation user patterns and future demand for amenities and facilities.

SITE INVENTORY AND ASSESSMENTS

This section includes the assessments of each of the 51 park sites, facilities and buildings during an on-site evaluation of each property. Each park assessment includes an overall narrative of the site, discussions regarding individual amenities and features of each park, and photographs of the park's amenities. The assessment includes a summary of the recommendations based on our observations and discussions with maintenance staff and others. These recommendations incorporate feedback from the District's public engagement process both online and with focus groups as well as staff meetings and Board discussions.

Mission Statement: Enriching life and community through premier parks, programs, and facilities

Park District Values

Character

Building respect,
integrity, and trust

Fostering teamwork
through communication
and collaboration

Demonstrating professionalism

Community

Embracing cultural
diversity

Encouraging inclusion

Celebrating contributions
of residents, Board,
staff, and volunteers

Excellence

Exceeding expectations

Following best practices

Promoting staff development

Providing quality experience
through guest-centered services

Assuring safety through comprehensive
risk management programs

Stewardship

Demanding fiscal responsibility
to assure transparency

Building green
infrastructure

Ensuring resource
efficiency

Creating and maintaining
effective partnerships

Celebrating
history

Innovation

Inspiring creativity

Communicating a shared vision

Implementing new technology

Recognizing trends by being
responsive and adaptive



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II Introduction

Buffalo Grove Park District (BGPLD) is located 35 miles northwest of Chicago. The area offers economic stability and a wide range of employment options nearby. The town is split along Lake Cook Road into two parts: the Lake County Vernon Township portion; and the Cook County Wheeling Township portion. Approximately three-quarters of the village is in Lake County. Both portions differ in their demographics and similarities with neighboring communities. Buffalo Grove shares a border with Wheeling to its southeast and to its southwest and south is Arlington Heights. Riverwoods and Deerfield are directly east of the community. Lincolnshire is to the northeast, Vernon Hills directly north and Long Grove is located to the west and northwest. Prairie View, which is unincorporated, is located in two different

areas of the village. In addition, Didier Farms is included in the larger and historic portion. There is also a smaller portion of unincorporated land centered on the Horatio Gardens subdivision just northeast of the intersection of Weiland Road and Pauline Avenue.

Buffalo Grove Park District has been serving the community since its inception in 1969. It is a local government entity completely separate from any other governmental authority. The Park Board is led by 5 unpaid commissioners elected by the residents and is the legal governing authority through which the business of the District is conducted. The commissioners serve 4-year terms and the board is primarily a policy-making body that reflects the needs and

interests of all taxpayers in the District. The Park Board has appointed a professional staff to manage the operation of the District on a daily basis. The professional staff is comprised of 57 full-time staff and more than 300 part-time and 400 seasonal employees.

It is important to note that the District has provided memorable experiences in parks and recreation and they continue to provide a wide range of recreation services to their population of more than 41,000 residents. They have developed strong programs and relationships through great leadership, vision, and dedicated staff. The Park District maintains 51 park sites, totaling more than 417 acres. Facilities include the Raupp Museum, Alcott Center, Emmerich Park (recreation building and maintenance facility), Twin

INTRODUCTION, cont.

Creeks Park (recreation building and maintenance facility), Golf and Sports Center, Spray 'N Play, Willow Stream Outdoor Pool, and the Buffalo Grove Fitness Center. The Mike Rylko Community Park, located northwest of the intersection of McHenry Road (IL Route 83) and Buffalo Grove Road, is the largest park in the District with an estimated 76.5 acres. The District includes school districts 102, 214, 125, 96, and 21 in Lake and Cook Counties. In addition, the boundaries of the Park District are 98% contiguous with those of the Village of Buffalo Grove except in the southern and western parts of the district which includes areas from the Village of Arlington Heights and Village of Wheeling.

At present, total land area of the Park District are approximately 9.04 square miles. The District's commitment in providing quality recreational services has resulted in a significant number of awards and honors. A number of them are listed below recognizing the organization's dedication and hard work.

- 2016 Illinois Association of Park Districts Best of the Best Award for Intergovernmental Agreements.
- 2013 Illinois Park and Recreation Association Award for Best Media Relations Campaign.
- 2011 Illinois Park and Recreation Association Award for Best Catalog Series.
- 2009 finalist for the National Recreation and Park Association Gold Medal Award.

- 2006 National Recreation and Park Association KUDOS Marketing Award for Best Overall Communicator.
- 2005 Illinois Park and Recreation Association Award for Best Logo Design.
- 2005 Illinois Park and Recreation Association Award for Best Catalog Cover Series.
- 2004 Illinois Park and Recreation Association Award for Best Single Catalog.
- Accredited in 1995 as a Certified Leisure Agency; status reviewed in 2001. Accredited until next review in 2013.
- Named Top 10 Best Golf Domes in the United States and Canada by the Golf Range Association of America 2006-2012.
- Award of Merit for Lighting Project (1990) for walk paths at Willow Stream Park.
- Outstanding Transportation Award for Safety Performance presented by the Illinois Safety Council 1999, 1998, and 1991.
- Outstanding Safety & Health Award for Safety Performance presented by the Illinois Safety Council 1998, 1992, and 1991.
- Northwest Suburban Regional Action Planning Project, First Place Youth Category in 1994 (Governor's Hometown Award).
- Certification of Achievement for Excellence in Financial Reporting for fiscal years 1998-2016.

- Accredited by the Park District Risk Management Association for its Loss Control Program.

The Park District provides a full range of activities and services year round. Recreation programs include performing arts, Clubhouse (a before and after school care program), summer day camps, preschool, athletic programs such as soccer, basketball, flag football and softball, learn to swim programs, senior activities and trips, special interest classes for youth and adults, and special events like Lawn Chair Lyrics, Tots in the Parks, Movies Under the Stars, National Night Out and the Huck Finn Fishing Derby.

The District is affiliated with the following:

- National Recreation and Park Association
- Illinois Association of Park Districts
- Illinois Park and Recreation Association
- Suburban Parks and Recreation Association
- Buffalo Grove Area Chamber of Commerce

The overall Mission of the District is to "Enrich life and community through premier parks, programs and facilities". This Comprehensive Master Plan is a guide that will complement the District's Mission and "Shape the Future of the Buffalo Grove Park District."

OTHER DISTRICT INVOLVEMENT

In addition to providing parks and recreation on District owned properties, the BGPD has also partnered with other affiliates, schools, and associations to offer recreation opportunities. An example of such cooperative arrangement is with the Northwest Special Recreation Association (or NWSRA). The NWSRA is a special recreation cooperative comprised of the following communities:

- Arlington Heights
- Bartlet
- Buffalo Grove
- Elk Grove
- Hanover Park
- Hoffman Estates
- Inverness
- Mt. Prospect
- Palatine
- Prospect Heights
- River Trails
- Rolling Meadows
- Salt Creek
- Shaumburg
- South Barrington
- Streamwood
- Wheeling

The NWSRA was founded in 1973 to provide year round quality recreation programs and services for individuals with disabilities or special needs.



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III History

Buffalo Grove is an affluent suburb with tree lined streets that provides both the amenities of a country atmosphere and the convenient access to the cultural, entertainment, and business centers of Chicago. It is a bedroom community that has ample green space with 800 acres of forest and parkland and 50 miles of trails. Buffalo Grove has been one of the fastest growing communities in the Northwest suburbs since it was first incorporated in 1958. It is located 35 miles northwest of downtown Chicago and overlaps both Cook and Lake Counties.

During the 1830s, the area saw its first settlers which were land speculators. By the 1840s, they sold their land to German Catholic dairy farmers. It is believed that either



This building started as a tavern in 1899 and is the site of Lou Malnati's Pizza today. Buffalo Grove, Illinois, (historical photograph source: Raupp Museum, Buffalo Grove, IL) Figure 2- Original Firnbach Tavern

Melchior Raupp or Jacob Weidner was the founder of the community and eventually, other families came to the area and formed a close community. The settlers built St. Mary's Church in 1852 and St. Mary's School in 1855. However, both eventually burned to the ground. By 1869, they were rebuilt, and a small downtown formed with the addition of the Weidner General Store and the Firnbach Tavern, built in 1899. The tavern still stands today and houses a Lou Malnati's Pizzeria.

Buffalo Grove received its name long before it was incorporated in 1958. According to local legend, the name comes from a grove of trees

where buffalo grazed, though there is no proof that buffalo actually resided in the area. While Buffalo Grove doesn't have its own library currently, it once did. Joseph Davero, who was a builder, publicized an aerial photo with proposed amenities, one of them was a library. After that, a makeshift library was developed in a farmhouse owned by Al Frank, another builder. However, Indian Trails Library District in Wheeling was already in place and the Buffalo Grove site eventually closed down.

Familiar names like Al Frank, one of the first developers, are rumored to have named streets in town, such as Bernard Drive, after his children.

Other streets, such as Weidner and Raupp, are named after first families that were around long before the village was incorporated. Aptakisic is the name of a local Native American chief and the name of a road, park, shopping area and school in Buffalo Grove, to name a few. Emmerich Park was named after a resident who died in World War II. In addition, the first post office which is now the Lou Malnati's restaurant on Buffalo Grove Road was formerly home to Bill's Buffalo House. When the village started out, there were no mail routes, so residents would go to Bill's to pick up their letters. It also served as a meeting place and the first police station.

Buffalo Grove High School opened in 1973. Prior to its opening, children went to Prospect or Wheeling high schools. Stevenson High School opened in 1965, serving the Lake County students. Within the area, Rick Casares, a running back for the Chicago Bears, owned the Pro Bowl, a bowling alley in town at Dundee and Buffalo Grove Roads. The alley was open until 4 a.m. and was a big draw, with league standings appearing in the paper.

Apart from a downtown which centered around the intersection of Buffalo Grove Road and Lake-Cook Road, Buffalo Grove served as a key farming community. The community gained a special reputation for supplying milk, cheese, and other dairy products to Chicago. The Weidner Cheese Factory was one of the key settlements. By 1926, the Public Service Company of Northern Illinois offered electric power to the area farms, and by

1930, the first concrete road in Northern Illinois was built. This road was located in south Buffalo Grove and was called Dundee Road.

Following the end of World War II, there was a great demand for modestly sized homes for returning GIs. In the late 1950s, Al Frank built hundreds of homes, some costing as little as \$16,900, along Buffalo Grove Road, west along Bernard Drive as far as the current Park District headquarters, formerly Louisa May Alcott School. By 1961, new homes west of Buffalo Creek and the school were added as far west as Greenwood Courts North and South, north through neighborhoods including Cherrywood and Cottonwood Roads and south through White Pine Road. These earliest homes, in the Cook County section of the community, are sometimes referred to as "Old Buffalo Grove". The Older housing stock was often surrounded by larger, newer houses, apartments and condominiums due to pockets of formerly undeveloped farmland being surrounded by housing. Over time, the holdout parcels were sold and developed.

Buffalo Grove grew rapidly in the 1960s with the development of Ranch Mart Shopping Center, and a Mobil Oil gas station, near the corner of Buffalo Grove Road and Dundee Road (State Route 68). In the late '60s, the center contained a grocery store (Jewel Foods), a dime store (Hornsby's), a dry cleaner, a shoe store, a bakery, and Walgreens/pharmacy (Mark Drugs). In 1970, the enclosed Buffalo Grove Mall, which included a grocery store ("Elm Farms," a subsidiary of National Tea), a dime store ("Scott's"

of the TG&Y chain), an ice cream shop ("Baskin Robbins"), and a Radio Shack, opened. Both of these complexes have undergone significant physical renovations and tenant changes in the intervening years.

During this time, numerous other shopping centers were developed, but primarily in Cook County. With rising taxes, along with rapidly increasing land values, farm families were encouraged to sell farms for residential and commercial development. By the early 1970s Buffalo Grove had approximately 15,000 residents. As of 2015, the population of Buffalo Grove is 41,503 according to the U.S. Census Bureau.

The town itself has been ranked by Money Magazine's top 50 towns that are thriving, have good schools and a strong sense of community. Buffalo Grove was included in the list as No. 46 and the only Illinois town to be included on this prestigious list in 2013.



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IV Community Profile and Demographics

The 2014 estimate population for Buffalo Grove is 41,613 per the United States Census Bureau. Buffalo Grove’s land area is 9.52 square miles, with 4,358 people per square mile. The village is a suburban community, with the local government offering a significant number of public facilities and accommodations ranging from quality schools to quality road maintenance. The opportunities for recreational activity are abundant, as well, with a long list of open spaces and designated parks.

The population and demographic information used herein for the Village of Buffalo Grove is derived from multiple sources, including the Chicago Metropolitan Agency for Planning (CMAP) and the U.S. Census Bureau.



POPULATION

Buffalo Grove reached its height in population sometime between 1990 and 2010. According to the U.S. Census Bureau, the peak decade measured had the population at 42,909 in the year 2000. The latest estimate, from 2014, of Buffalo Grove's population has the village at 41,613 people, or a 3% decrease from 14 years prior.

According to the CMAP 2040 Forecast Summary, the projected growth in population for Buffalo Grove by the year 2040 will be 50,475 people, or a 21% increase within the next 24 years. Due to the limited available land for large residential developments, however, it is difficult to see how the village could achieve the population CMAP forecasts.

Village of Buffalo Grove Population 1958-2012

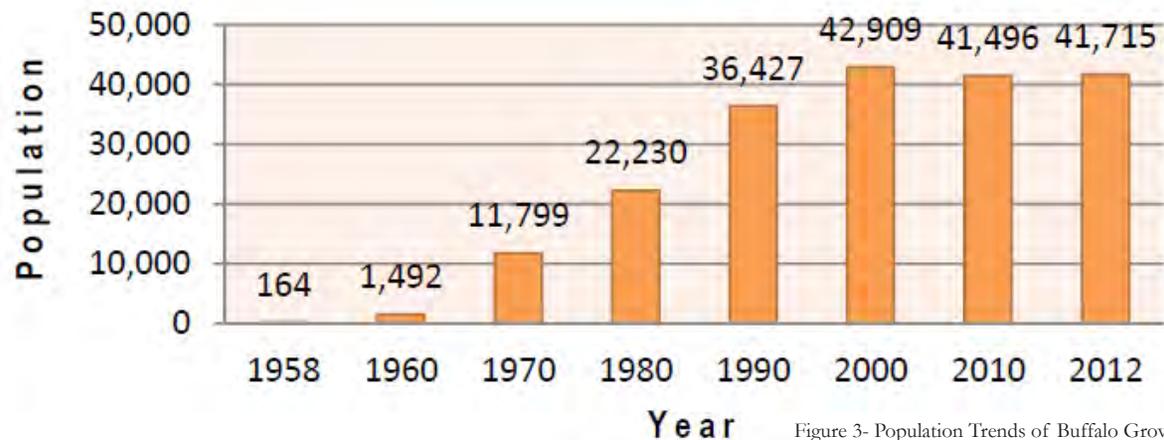


Figure 3- Population Trends of Buffalo Grove

Populations By Year						
Municipality	2010	2011	2012	2013	2014	Growth
Buffalo Grove	41,859	41,735	41,667	41,663	41,613	-0.6%
Long Grove	7,866	7,958	8,031	8,015	8,017	1.9%
Vernon Hills	24,388	24,710	25,144	25,325	25,535	4.7%
Lincolnshire	7,077	7,192	7,228	7,254	7,270	2.7%
Riverwoods	3,920	3,817	3,854	3,902	3,792	-3.2%
Wheeling	37,030	37,257	37,575	37,764	37,886	2.3%
Arlington Heights	74,967	75,094	75,221	75,492	75,577	0.8%

Figure 4- Local Population Trends

AGE DISTRIBUTION

A resident's age can indicate the tendency for active or passive recreation activities, as well as helps the District adjust programming to meet future age-sensitive trends. The following age breakdown is used to separate the population into age sensitive user groups and to retain the ability to adjust to future age distribution trends.

These groups are:

- Under 5- this group are those with limited physical abilities; users of preschool programs/facilities and are the future youth activity participants
- 5 to 14-this group represents children's needs and programming, the teens will be slowly moving out of youth programs and into adult programs
- 15 to 24- this group represents young adults who use facilities and programs independent of their family
- 25 to 34- this group represents those whose needs primarily center on relationships and starting families
- 35 to 54- this group represents users of a wide range of adult programming and park facilities, as well as people whose needs generally revolve around their family

- 55 to 64- this group includes empty nesters, those focused on new grandchildren and preparing for retirement
- 65+ - this group of active adults are more active than at any point in history

A common trend in the age distribution is that the population is becoming older in representation, with a median age increasing from 37.4 in 2000 to 41.9 in 2010. Figure 5 shows differences in populations between younger and older generations, with those above the age of 50 increasing in proportional representation. In 2000, persons age 50 and above make up 24% of Buffalo Grove's total population. By 2010, the same group comprised of about 36% of the total population, indicating that many among the Baby Boomer generation remain settled.

A decline in the number of younger people living in Buffalo Grove is also apparent from the 2010 measurement, with the only exception coming from the 20-24 years group. This outlier among the youth population trend may be attributed, at least in part, to the fact that the census was taken in 2010 when the impact of the recession was still at its peak for young people

seeking employment (the same age group's national unemployment rate did not fall under 10% until the beginning of 2015, according to the U.S. Department of Labor Statistics) . In other words, a significant enough number of 20-24 year olds may have returned to the homes of their parents temporarily for more personal economic security, while in the process of obtaining employment that would lead to more reasonable independent living. This remains a trend among the millennial generation, given common economic constraints such as post-college student debt.

Another notable trend in the decline of people below the age of 50 comes from the family demographics, ages 0-14 and 35-49 (see Figure 5). Together, these groups made up 54% of Buffalo Grove's population in 2000, whereas in 2010 they made up about 42%. With the understanding of context of cultural and economic trends impacting young people focused on independently establishing relationships with others, these statistics suggest that more people in Buffalo Grove were starting families in the 1990's when in comparison to the 2000's. Thus, anticipation

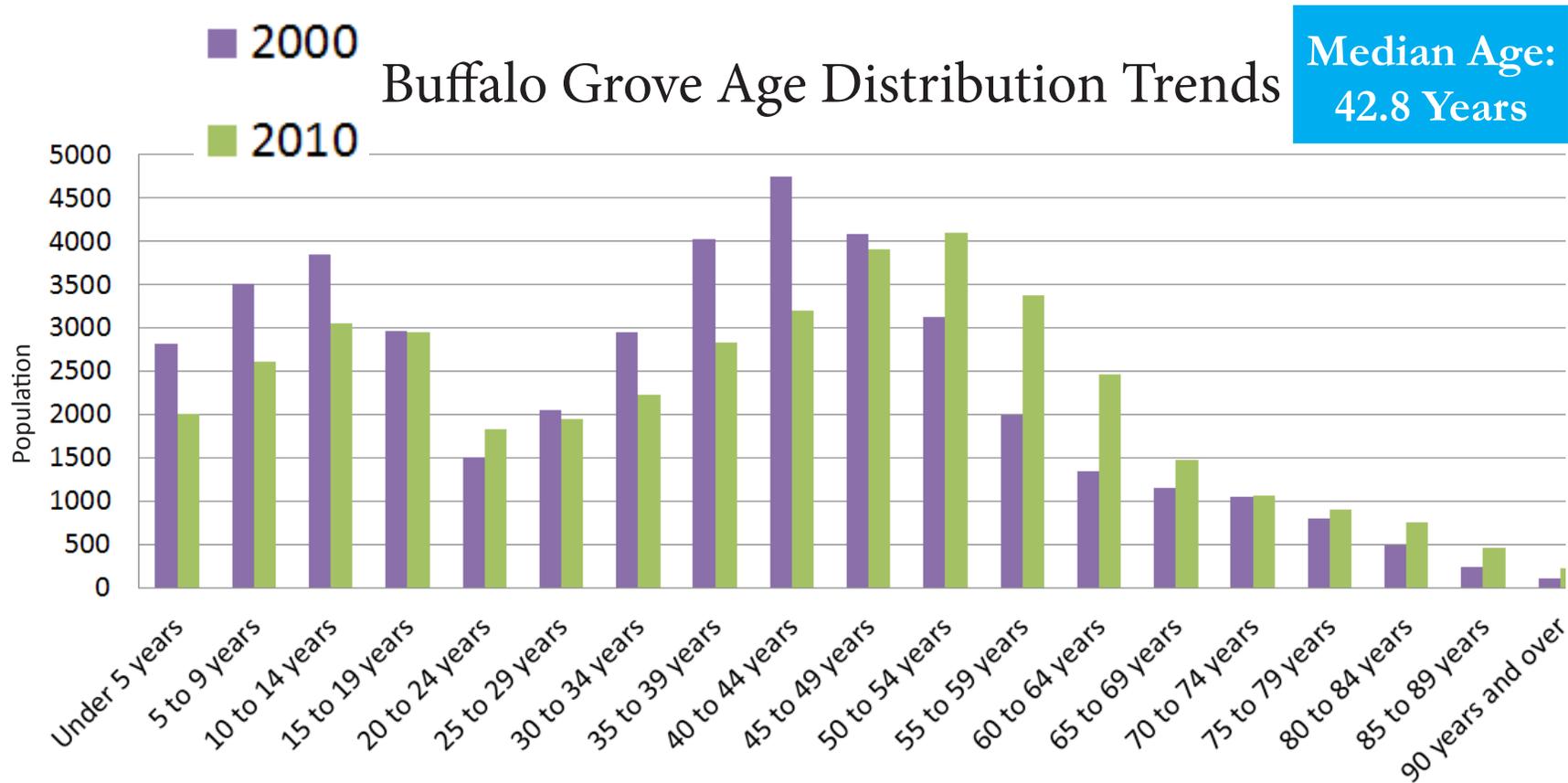


Figure 5- Age Distribution

of another “baby boom” in Buffalo Grove would be misguided in planning purposes.

It should also be noted that according to the Pew Research Center population projections, a national demographic shift is expected to occur by the year 2030. They report that by the time all Baby Boomers turn 65 in 2030, 18% of the nation’s population will be at least that old. In 2010, only 13% of Americans were ages 65 and older.

RACE, CULTURE, AND ETHNICITY

Race, culture, and ethnicity play a role in a community’s parks and recreation needs and desires. Trends can be found in the ways different ethnic groups use park and recreation facilities and the types of programming they seek. An analysis of Buffalo Grove’s racial and ethnic makeup reveals a predominantly Caucasian population that has been gradually diversifying over the last two decades. For example, in 1990, 94.4% of the population was Caucasian and by 2014, that number notably declined to 75%.

The only group of racial minorities in Buffalo Grove who have not seen growth in numbers are those of American Indian/Alaska Native ancestry, as they’ve steadily consisted of 0.2% of the population for decades. Other groups of people, also identified as minority populations, have slightly increased their presence in Buffalo Grove from 2000 to 2010, such as people who are Black/African American (from .8% to 1%), who are Hispanic/Latino (from 3.3% to 4%), and who are of two or more races (from 1.1% to 1.6%). Overall, this trend of gradually increasing diversity is indicative of a stable population, particularly in a large metropolitan area like Chicago.

The most significant increase in population by race comes from people of Asian/Pacific Islander ancestry. In 1990, only 4.3% of Buffalo Grove’s population consisted of people with Asian/Pacific Islander ancestry. By 2014, this number increased to 17% of the entire population, making it the Chicago suburb with the seventh highest percentage of Asian/ Pacific Islander background.

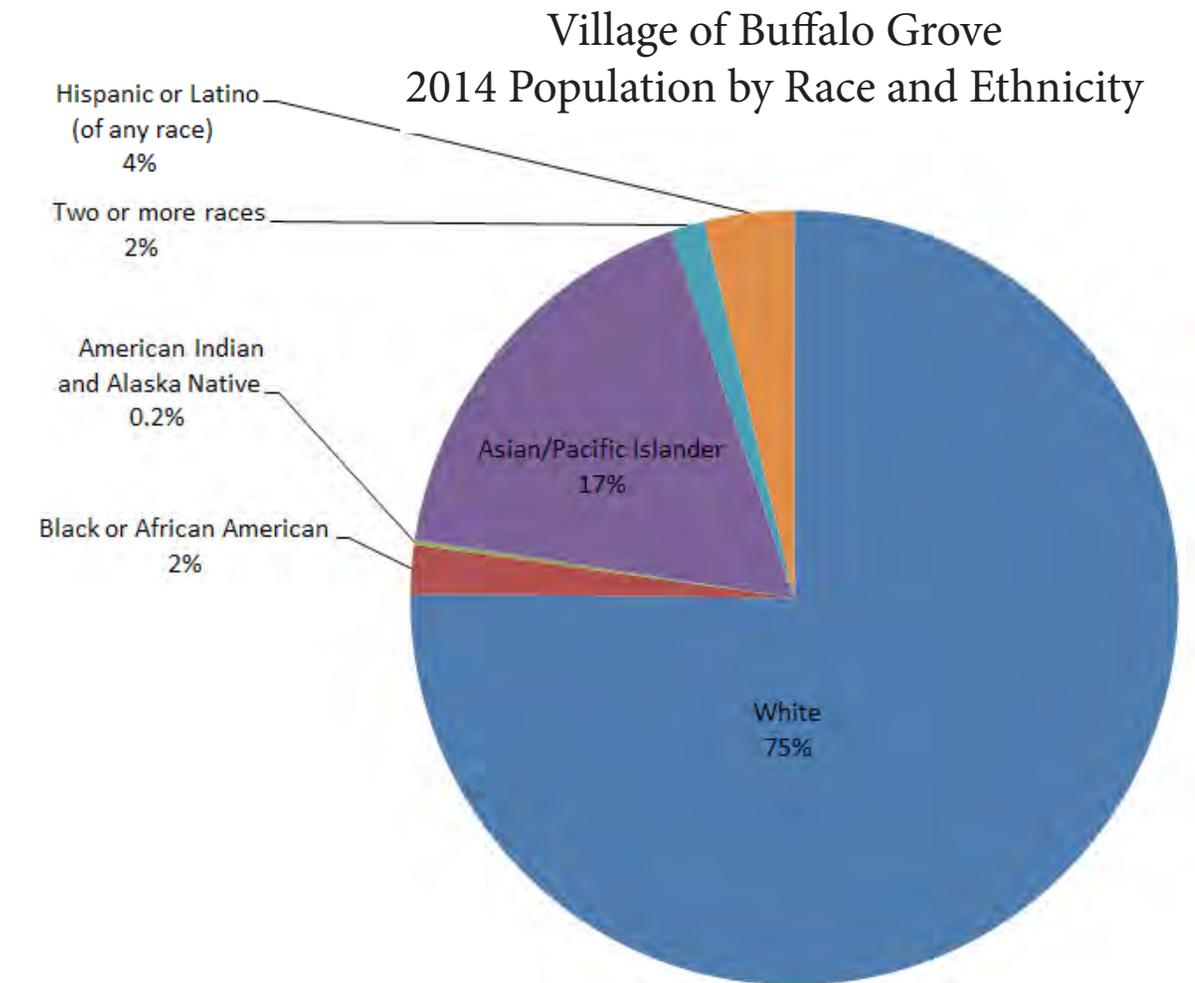


Figure 6- Race and Ethnicity Dynamics

Among the category of “Asian/Pacific Islander” in Buffalo Grove, there are those of South Asian (such as Indian and Pakistani), Chinese, Japanese, Korean, Filipino, Vietnamese, and other ancestry. Because they make up 17% of the population, the diversity among people with Asian/Pacific Islander identity is important to recognize given how different cultures

may influence different living experiences and socioeconomic conditions for individuals and families.

In addition to the diversity of race and ethnicity, it’s worth considering how many people within the population speak a language other than English, as well as how many persons are foreign born.

English Proficiency of Second Language Speakers, By Contrasting Age Groups

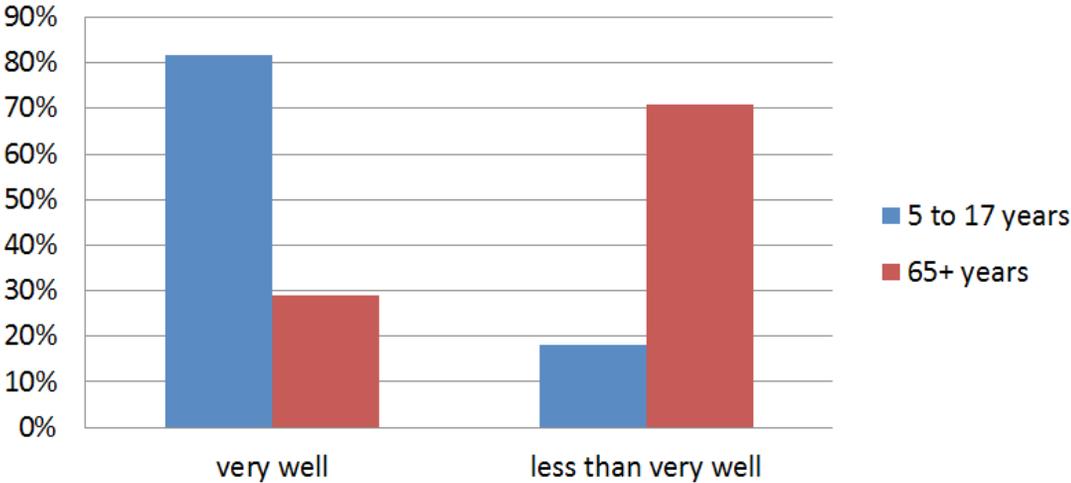


Figure 7- English Proficiency Rates Among Second Language Speakers

Foreign & Native Born Persons living in Buffalo Grove

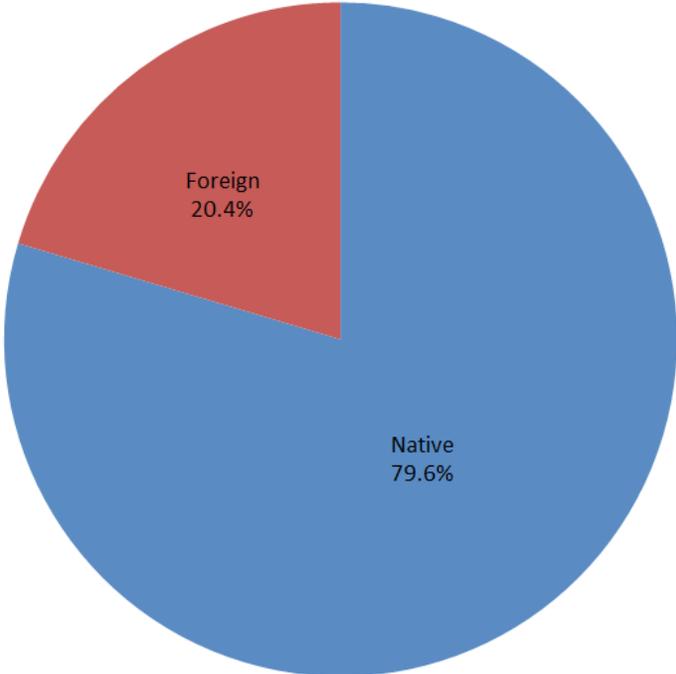


Figure 8- Origin of Birth Chart

This information can aid in planning purposes, such as for accommodations in public wayfinding and cultural place-making. According to a 2014 estimate by the U.S. Census Bureau, 67.5% speak only English while the remaining 32.5% of Buffalo Grove’s population can speak a language other than English. Most of these languages spoken originated from either the European or Asian continents.

For those who do speak a non-English language, there is a higher percentage of children who speak English “very well” and a lower percentage who speak English less than “very well”. In terms of senior citizens who speak a non-English language, this pattern is reversed; a lower percentage speak English “very well” while a higher percentage speak less than “very well”.

Buffalo Grove Family Incomes, 2014

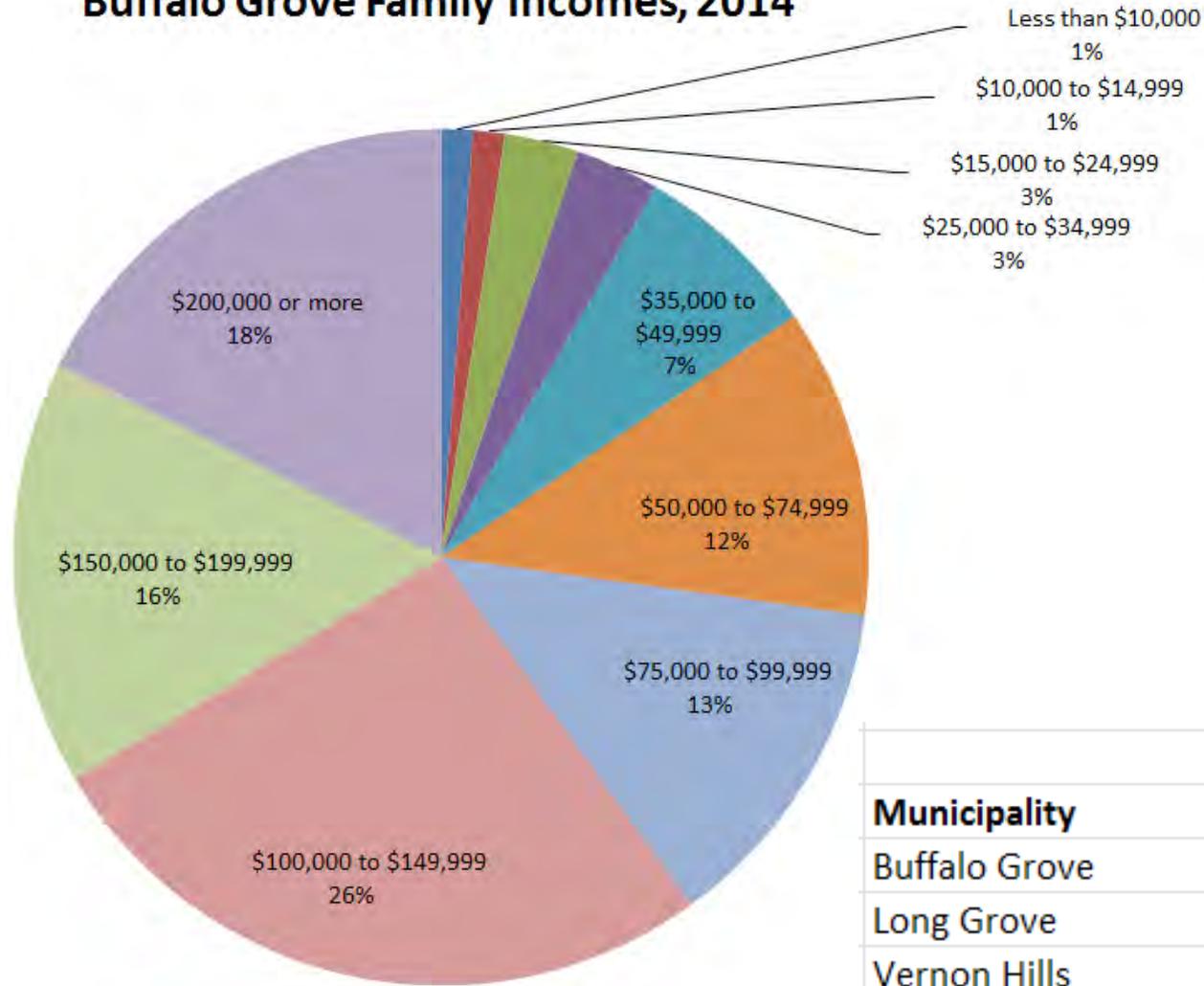


Figure 9- Buffalo Grove Family Incomes

INCOME

According to the U.S. Census Bureau, the majority of families, 73%, in Buffalo Grove consist of incomes greater than \$75,000. The other 38%/27% includes a range of income levels below \$75,000.

The 2014 measurement of Buffalo Grove’s population below the poverty line averaged, 4.5%.

Municipality	% Below Poverty Level	
	2008-2012	2010-2014
Buffalo Grove	3.9%	4.5%
Long Grove	1.8%	1.8%
Vernon Hills	2.9%	3.0%
Lincolnshire	3.7%	3.9%
Riverwoods	1.5%	2.7%
Wheeling	10.4%	12.4%
Arlington Heights	4.1%	4.7%

Figure 10- Local Poverty Trends

Buffalo Grove Poverty Trends Over 6 Years

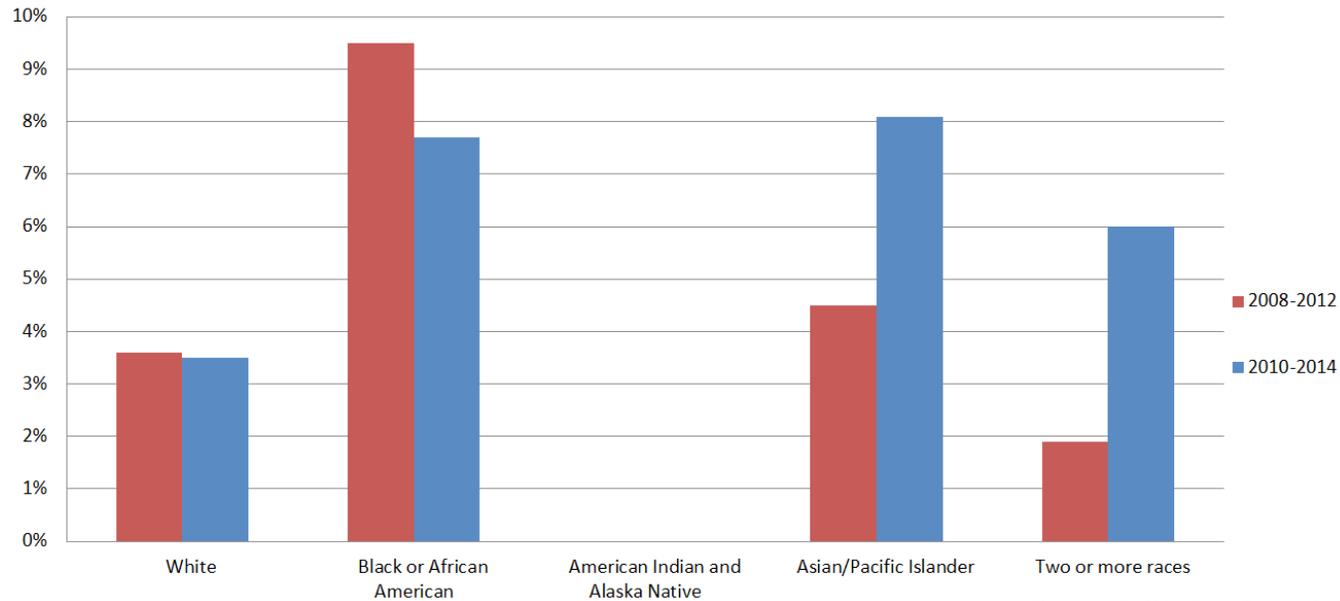


Figure 11- Buffalo Grove Poverty, by Racial/Ethnic Group

POVERTY

When breaking the 4.5% poverty rate down by each racial/ethnic group, there are some notable disparities among those who are of a minority identity. For example, for those who are Black/African American, Asian/Pacific Islander, and two or more races, the proportion living in poverty is above 4.5%. In the case for those who are white, the proportion living in poverty is below 4.5%.

Another trend with the poverty measurements shows that in the period between 2008 and 2012, slightly more people who are white were living in poverty than in the period between 2010 and 2014. This is also true in the case for those who

are Black/African American, although at different rates. The opposite could be stated for those who are two or more races, as well as for those who are Asian/Pacific Islander. Between 2008 and 2014, their rates of poverty increased. Those who are Hispanic and/or Latino were unaccounted for in this because accurate data was unavailable.

This is worth taking into account to confirm inequities in a variety of socioeconomic statuses and to provide justifiable planning measures.

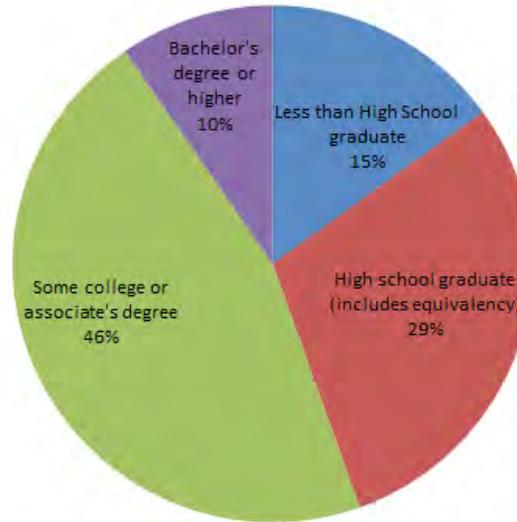
EDUCATION

One of the most distinct features to the community of Buffalo Grove is the proportion of people who have received higher levels of education compared to the national average.

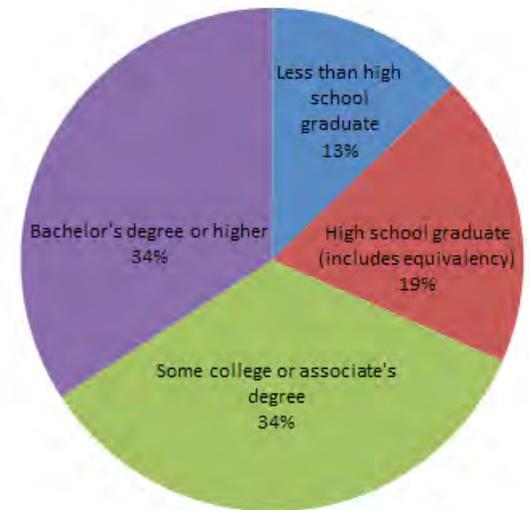
Whether it be among the age group of young adults who are in the prime years of obtaining a post-secondary degree (18 to 24) or the age group of adults who generally are immersed in the workforce, the majority have received education beyond high school levels.

Although it may not be considerably different from surrounding communities, it certainly is different from most other American communities overall.

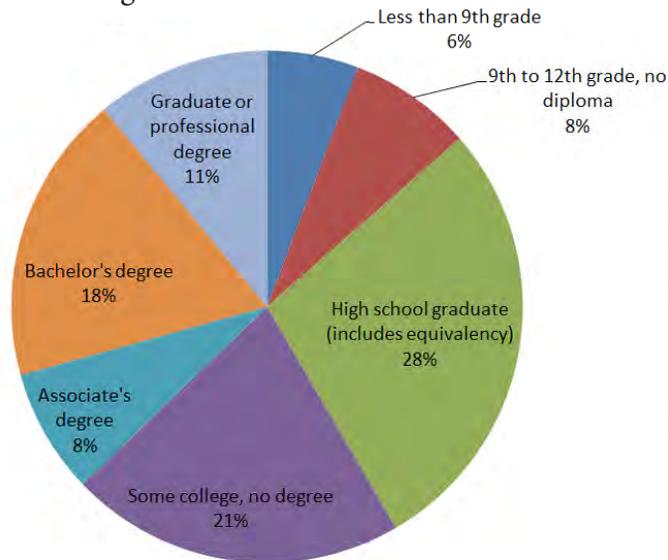
U.S. Average Educational Attainment
Ages 18 to 24 Years



Buffalo Grove Educational Attainment
Ages 18 to 24 Years



U.S. Average Educational Attainment
Ages 25 Years and Over



Buffalo Grove Educational Attainment
Ages 25 Years and Over

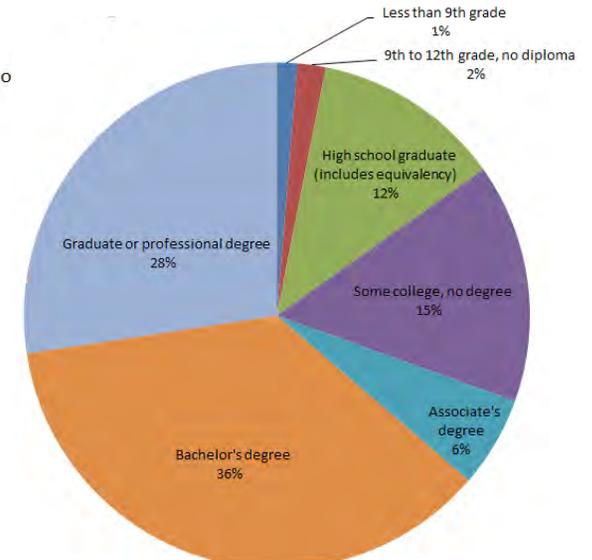


Figure 12- Buffalo Grove and National Education Statistics



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To gain an understanding of the Buffalo Grove Park District’s community’s perceptions, the PRI Team held a series of focus groups, stakeholder interviews, and public open houses. We also utilized an online engagement tool called mySidewalk® to capture the needs of those that prefer online public engagement. The purpose of the public involvement process was to identify strengths, weaknesses, opportunities, and general issues that are necessary to be addressed in the Comprehensive Master Plan. The public input processes allowed our team to better understand the community and to address key issues that were discussed during these processes.

It was evident from the feedback received that the community members of Buffalo Grove genuinely appreciated the Park District services

received; however, they are requesting more. The general public, focus groups, stakeholders, and online forum from mySidewalk all shared a common interest in updating the aging facilities and parks, developing a new adventure park with a zip line, ropes course or similar type of apparatus, winter activities in addition to walking trails and pathways, pursuing pool renovations and addressing teen involvement in programs. Programming was another area to review for the District making efforts to re-visit classes offered and times proposed to meet the needs of the professional parents which makes up 65.4% of Buffalo Grove.

mySidewalk

PUBLIC PARTICIPATION

The Comprehensive Master Plan for Buffalo Grove Park District included an online engagement tool referred to as mySidewalk®. This engagement platform enabled the community to provide valuable feedback regarding the plan online. One way to appreciate this tool is to relate it to a “virtual town hall,” providing a forum for community members to share ideas, discuss these ideas, and create plans for the future. Without the time and place constraints, citizens can share ideas online, at their convenience, and leaders can gain input from their communities.

The following sections are broken out by question followed by an analysis of the consensus of the community members that responded. The analysis is a compilation of the results formed by the Buffalo Grove Park District community members. A copy of all resident responses is included at the end of the report, for reference.

The Re-Energize Buffalo Grove Park District mySidewalk site opened on September 23, 2016 and a snapshot of the site was reviewed during the week of November 21, 2016. The site remains open through the planning process for those community members that still wish to respond to the District while Planning Resources is writing the master plan. This allows the District to remain in contact with the community members and provide updates, should there be a need.

Invitations to The Re-Energize Buffalo Grove Park District site were sent via email to park district community members through internal channels that utilized the park district facilities. The link to the site was also posted on the Buffalo Grove Park District website and a flyer was readily available at the registration counter at Alcott Center and at the Fitness Center for simple sign-up procedures. Five questions were generated on the site and when

accumulated to include the views of all questions read, reviewed and monitored the total was 7,049 interactions. There were 80 unique participants that provided comments regarding the future of the park district planning process. This is substantial interaction between the Park District and the community and it will assist the Board and staff in making more-informed decisions for the betterment of the Buffalo Grove Park District.

The input generated in this phase of the comprehensive master plan was utilized to understand community needs. The following analysis provides feedback facts, statistics and data based on questions formed specifically for the mySidewalk® Public Engagement site for Buffalo Grove.



Question 1. Many have expressed the fact that there are not enough teen activities. What ideas do you have to include teens in park district programs?

Teen participation in park district programs is a nation-wide issue that districts across the country are struggling with. The question pertaining to teens was an open ended question and there were 20 Buffalo Grove community members that responded. Many suggested open gym nights and to include a list of open gyms in the area that are running this type of program. Parents want their children to have a place to go that is safe and still enjoyable for their teens. Day trips like ski trips and weekend programs were also suggested. Rock concerts similar to “Battle of 22 Buffalo Grove Park District Master Plan

the Bands” and classes like “What to know and where to look for your first job” were also suggested.

The idea of reaching out to teens that are not involved in high school activities is critical at a time of unnecessary violence happening across our nation. A teen focus group is a great way to start understanding this demographic. In addition, after further review with park district staff and other key team members regarding this issue and others, we felt that communicating to these teens should be done

with someone closer to their age. It is our belief that the focus groups should be led by teen leaders and the demographic of these groups should consist of several different ethnic, popularity, and age groups in order to gain the most accurate and honest feedback. One community member included a link to an article that discussed what teens think is cool and what isn’t in 2016. The article interviewed approximately 60 teens ages 13 to 19, in middle school, high school and college

and they were asked about digital lives and habits, apps, games they play, pop culture, and politics. The teens were from across the country and every one of them owned a smart phone. On average kids were 11 years of age when they received their first smartphone and they spend approximately 11 hours in front of a screen every day. Snapchat is

their favorite app followed by Instagram, which is a close second choice. Wishbone; however, is an app that allows you to choose one choice over another and might be a great way to reach this group for park district feedback. It is a spinoff of the popular “Would you rather?” hypothetical question game that is often played by this age group and has

been downloaded more than 3 million times. It is a quick, user friendly app that can generate big results in a short period of time. For more information regarding teens, what they like, and their habits, the link to this article and site is attached at the end of this plan, for reference.



Question 2. Where do you go (other than Buffalo Grove PD) for recreational programs or services?

This question was another open ended question. 38 people responded and while many of the respondents did not say why they chose to go elsewhere; it was evident that approximately 26% of those 38 people chose Wheeling Park District for swimming. The Big Blue Swim School received another 10% of those 38 people that responded and the topic of pool improvements for the Buffalo Grove Park District and better hours was noted by a few petitioners. The want for an updated pool for ages 9-11 was specifically mentioned. In addition, the Arlington Heights Park District was cited by 18% of the respondents, but only one person named Volleyball as the reason. Twin Creeks was listed and the need for the courts to be maintained and sealed before spring. There is a safety concern there when the courts get wet as it seeps through the cracks. The idea of more tennis courts and lighting at this location due to the high volume

of players in the summer was also requested. Buffalo Grove Park District was mentioned for gymnastics by 7.8% of the respondents and the Clubhouse After-School Program was also cited as being affordable and providing a great service. In addition, softball was played elsewhere by 7.8% of the 38 people.

Approximately 65.4% of working parents in Buffalo Grove have children under the age of 17, according to the Illinois Labor Force. They are well-educated, two income, goal-oriented. To support their upscale Buffalo Grove suburban lifestyle, both parents work, tolerating long hours and long commutes. Their schedules can be complicated and balancing work and activities for school-aged kids becomes challenging. Due to this professional pride, many of your residents are looking for programs that are in the evening or on weekends.

This group is not; however, concerned with affordable programs. Nevertheless, there was a comment regarding the fact that residents pay for Buffalo Grove Park District splash pad use. A possible alternative and suggestion was to add a few free days.



Question 3. Importance of adding, expanding, or improving the following.

The following graph identifies the top five choices regarding the importance of adding, expanding, or improving the following elements in Buffalo Grove. The adventure park including a zip line, ropes course etc. was the 'top priority'

amenity mentioned. Winter activities in addition to trails and pathways and a pool were strong second and third choices. While outdoor pool and parks and green spaces were fourth and fifth in order of importance for community members.

The choices are identified without reference to development costs, how to pay for them, or user fees associated with the various activities. They strictly reflect activity choices to be further explored.

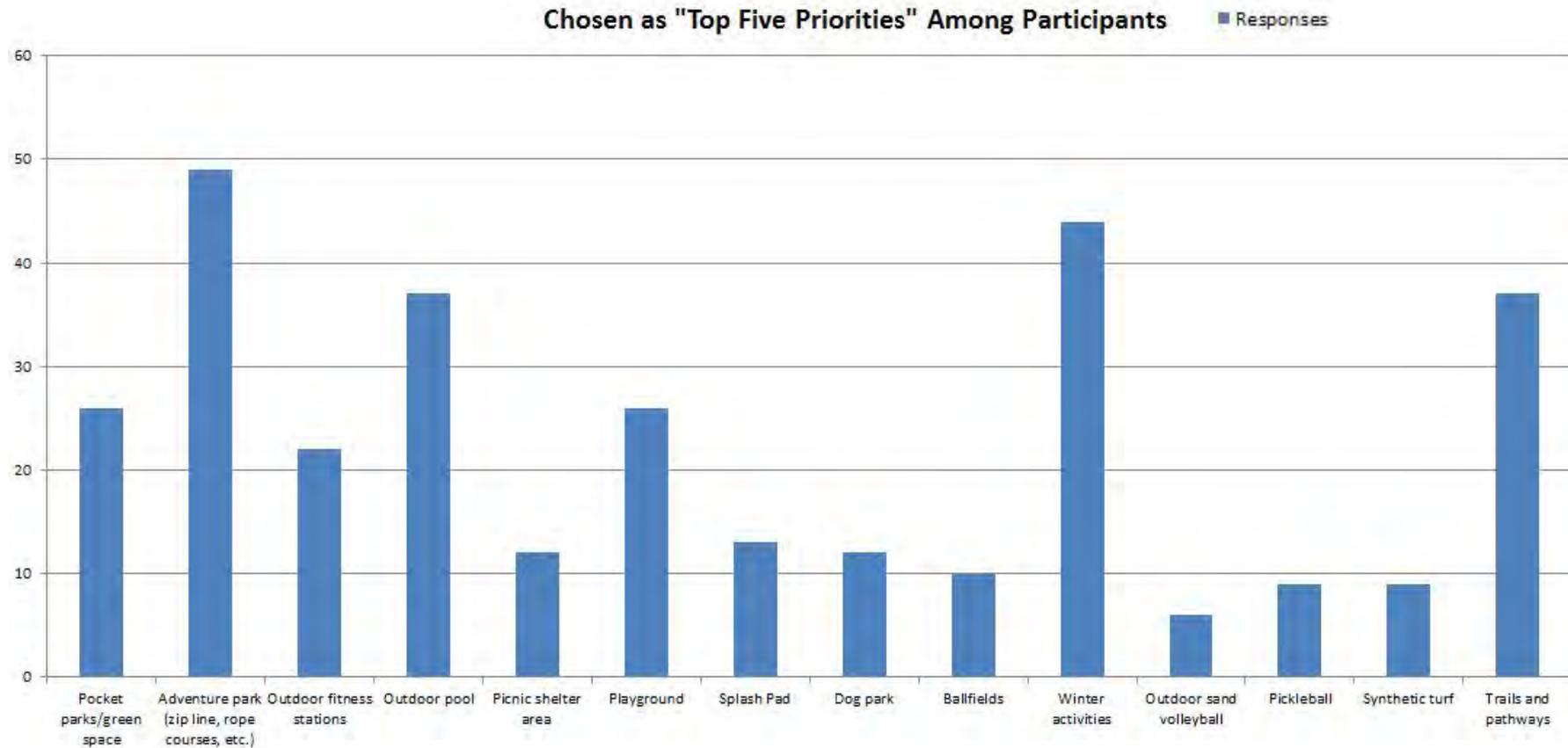


Figure 13- Feedback from MySidewalk Survey



Question 4. Please choose the top 3 areas of importance.

The following answers will assist the park district in understanding the community's focus. 60 people answered this question and felt that investing in youth was an important priority followed by affordability of services and then safety and security.

Priority 1. Investing in Youth

The Buffalo Grove Park District in addition to other park districts, for that matter, are ideally situated to supply the support system, opportunities, programs, and services to facilitate adolescents' development into healthy and functioning adults. The key here is to allow adolescents to be involved in the learning and growing process. They need to have more opportunities to develop themselves. The district needs to increase pro-social attitudes, skills and behaviors within their programs. Today, with an increasing number of children enrolled in programs like center-based or pre-school programs and other sport, clubs or camp related programs, the district plays a critical role in promoting the development of these important skills. The leaders in the park district including teachers and coaches are extensions of the primary parent-child relationship. It is also important to realize that children develop and learn best in the context of a community where they are safe and valued, their physical needs are met, and they feel secure. Play is an

important vehicle for children's social, emotional, and cognitive development as well as a reflection of their development.

Some of the social skills formed through play are the ability to work toward a common goal, initiating a conversation and keeping it going and cooperating with peers. Attachments are formed with other kids that share common interests and then turn into friendships. These skills are imperative in the overall goal of investing in our youth. Therefore, parks, trails/pathways and other priorities listed above will assist the district in investing in their youth.

Priority 2. Affordability

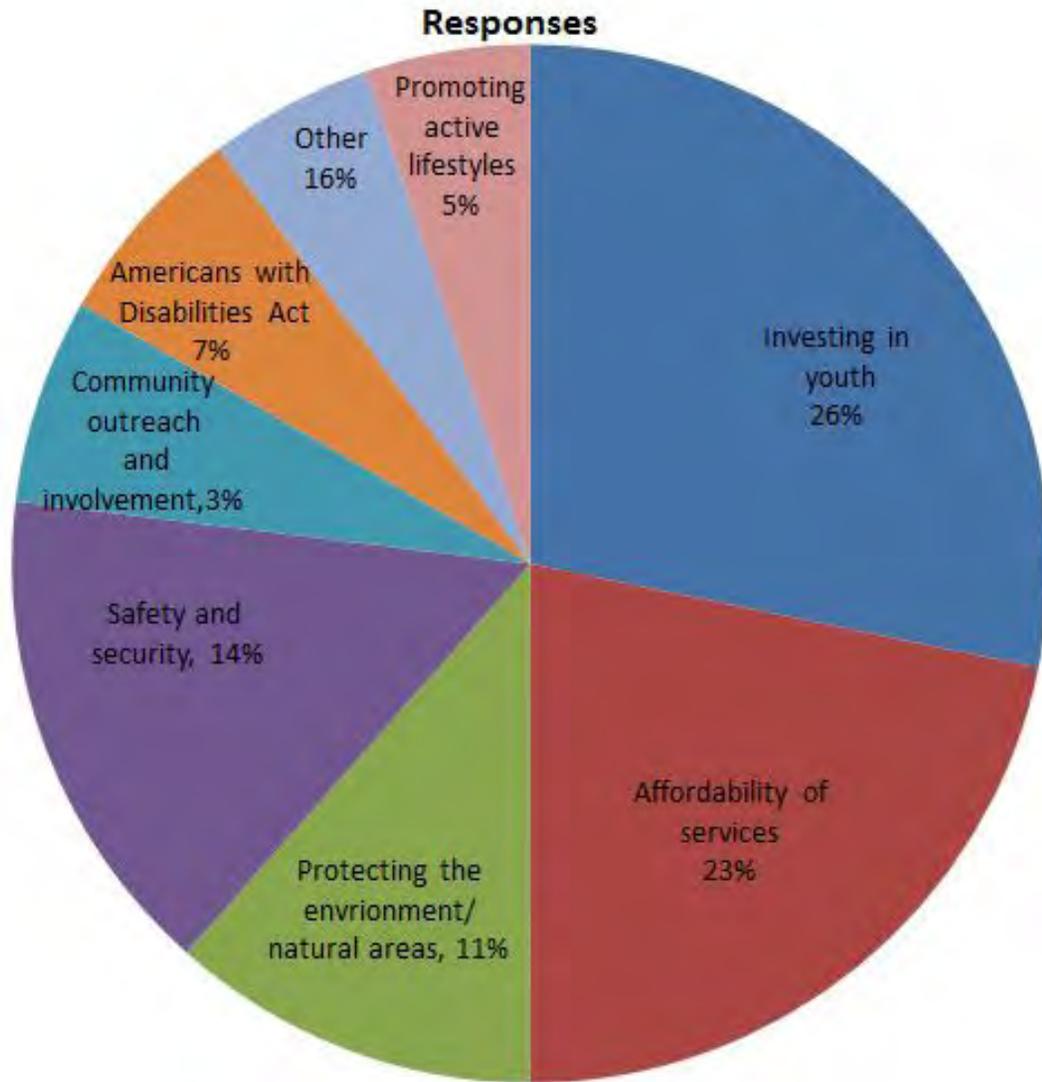
Affordability of these programs is another important aspect for the district. Approximately 10% of the population in Buffalo Grove is single parents, according to the 2010 Census Data. This demographic in addition to families that are below poverty rates in Buffalo Grove (7%) indicate the need for programs that are affordable. Reasonable and affordable programming is important so that children can have experiences that they are often unable to experience due to financial constraints. So many experiences would not be possible without this important offering.

Priority 3. Safety and Security

Safety and security are extremely important in today's increasingly unfortunate violent climate. Crime Prevention Through Environmental Design (CPTED) is something that can be implemented to assist the district in safe and secure sites. It is a multi-disciplinary approach to deterring criminal behavior through environmental design. CPTED strategies rely upon the ability to influence offender decisions that precede criminal acts. Generally speaking, most implementations of CPTED occur solely within the urbanized, built environment. Specifically altering the physical design of the communities in which humans reside and congregate in order to deter criminal activity is the main goal of CPTED. CPTED principles of design affect elements of the built environment ranging from small-scale (such as the strategic use of shrubbery and other vegetation) to the overarching, including building form of an entire urban neighborhood and the amount of opportunity for "eyes on the street". We recommend utilizing consultants with CPTED credentials in order to ensure a safe and secure site for the residents of Buffalo Grove Park District. Note that promoting a healthy lifestyle is another important area. Though not listed, it was mentioned in the comment section several times.



Question 4. Please choose the top 3 areas of importance.



Open Ended Responses

- More weekend and evening offerings
- Hiring more experienced instructors
- Activities for two income families
- Winter facilities

Figure 14- Feedback from MySidewalk Survey



Question 5. What amenities do you take advantage of?

There were 86 people that responded on the amenity question resulting in parks as the most utilized amenity. The next amenity used most often was trails and pathways along with concerts and community events. Access to public parks is extremely important for

social gathering, given that over 15% of the population is in the demographic consisting of married couples with school-aged kids in single family homes. The chart below reflects the amenities utilized most often.

Other responses, listed, included:

- Early childhood classes
- None
- Disc Golf
- Art classes/landscape beautification
- Fishing (more involvement desired)
- Community Arts Center

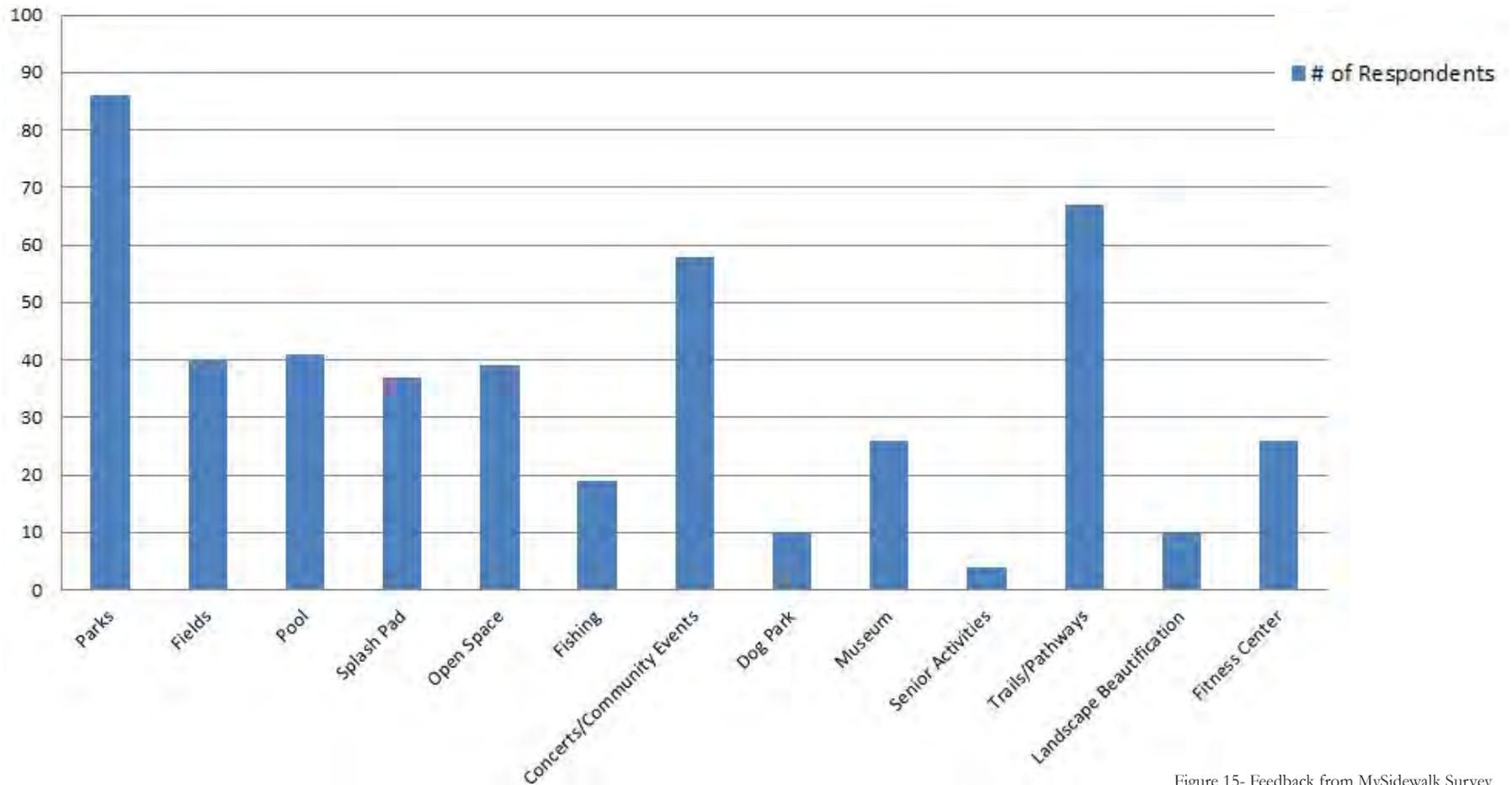


Figure 15- Feedback from MySidewalk Survey
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OVERVIEW

In 1996, the National Recreation and Park Association (NRPA) published the Park, Open Space, and Greenway Guidelines. The book presented a model of typical park classifications, as well as recommended service levels based on population. “The purpose of the publication is to underscore the most important objective of the park and recreation planning process; to ensure that a community knows how to go about securing enough of the right kind of land to provide the scale of park and open space system the citizen’s desire.” (James D. Mertes, 1996) This valuable resource provides definitions, criteria, classifications, and development standards for the recreation industry. The publication also includes a Level of Service (LOS) analysis which is a “systems

approach” to facility planning. The NRPA guidelines and LOS together with input received from the community provides for an ongoing, dynamic planning process. However, NRPA recognizes that these numbers do not take into account the unique qualities and needs of all communities across the country. Local trends, demographics, climate and the popularity of certain activities over others often dictate a greater need for certain facilities. Currently, NRPA is updating their standards through the Park Metrics, formerly PRORAGIS, system, an online service designed to capture national trend data from park and recreation departments.

CLASSIFICATION OF PARKS

NRPA states “A park system, at a minimum, should be composed of a ‘core’ system of park lands, with a total of 6.25 to 10.5 acres of developed open space per 1,000 population.” In addition, as a means of organizing the open space facilities found in the Buffalo Grove Park District, the park sites are classified according to a NRPA hierarchy that provides for a comprehensive system of interrelated parks. These NRPA guidelines and definitions serve as a good baseline for determining a minimum standard for park districts; however they are refined to address the needs of the users of the Buffalo Grove Park District. The classification and acreage of the properties owned or leased by the BGPDP are outlined in a matrix later on in this report. The classifications used in the BGPDP are as follows:

- Mini Park
- Neighborhood Park
- Community Park
- Open Space
- Special Use

Exhibits 2 through 5 in Chapter XIII maps illustrate the BGPDP’s parks and facilities that are owned or leased as well as illustrate the service areas for Mini, Neighborhood and Community Parks.

MINI PARK

The smallest type of park, mini parks are mainly designed to serve a concentrated population or a specific age group or function but they can serve persons of all ages located in the immediate area. Another term “pocket park” has also been used to identify mini parks in recent years.

They are designed for up to a ¼-mile radius of service and are 1.5 acres or less in size. The park is generally a walk-to type park, meaning no parking facilities for automobiles are normally found. Their primary purpose is to provide recreation to residents where major roads do not have to be crossed.

The amenities provided can center on play apparatus for young children; however, some include passive activities for adults and seniors depending on the needs of the surrounding neighborhood. Other amenities typically include gazebos, benches, scenic overlooks, picnic tables, and ornamental landscaping. Mini park service levels are 0.25 to 0.5 acres per thousand residents.

The BGPDP contains two mini parks:

- Martha Weiss Park – 0.75 acres
- Rollings Hills Park – 0.48 acres

NEIGHBORHOOD PARK

Neighborhood parks form the foundation of the park district and serve as the recreational and social focus of the neighborhood. They generally range in size from 5 to 10 acres; however, due to the available land within the park district as well as the amenities provided sites as small as two acres in size can be appropriate for a neighborhood park. Neighborhood parks are designed for a ¼ to ½ mile radius of service. Concentrated intense recreation activities are common in these parks and they are usually designed within a limited amount of space. These parks serve residents in a variety of age groups. The park should be easily accessible and access should be uninterrupted by major roads or other significant barriers.

Neighborhood park features include aesthetically designed play areas, picnic areas, splash pads, ball fields, skating, open space for field games, shelters, and walking paths. Typically neighborhood parks do not provide off street parking; however parking is usually necessary due to the scope of activities and size. Neighborhood parks should serve between 10,000 to 20,000 residents, or 1.0 to 2.0 acres per thousand people.

The BGPDP contains 23 neighborhood parks:

- Prairie Grove Park – 1.32 acres
- Apple Hill Park – 8.66 acres
- Bicentennial Park – 3.33 acres
- Bison Park – 4.5 acres
- Cambridge Park – 6.0 acres
- Canterbury Park – 2.6 acres
- Cherbourg Park – 5.6 acres
- Children’s Park – 4.5 acres
- Churchill Park – 21.47 acres
- Tartan Park – 2 acres
- Rolling Hills Park North – 5.6 acres
- Mill Creek Park – 7.0 acres
- Mirielle Park – 2.93 acres
- Nicole Park/Site 21 – 4.0 acres
- Old Farm Park – 10.5 acres
- Parkchester Park – 7.05 acres
- Veterans Park – 9.5 acres
- Westchester Park – 5.5 acres
- Windsor Ridge Park – 6.24 acres
- Weidner Park – 3.5 acres
- Ivy Hall School and Park – 5.0 acres
- Longfellow School and Park – 3.5 acres
- Prairie School and Park – 9.5 acres

COMMUNITY PARK

Community parks are diverse in nature, serving a broader purpose than the neighborhood or mini parks. They are larger than neighborhood parks and are intended to serve several neighborhoods.

Community parks usually have both day and evening activities which can result in lighted fields and amenities. Community parks include a mix of active and passive activities and attract users of all ages. Large play structures, baseball fields, football fields, soccer fields, hiking trails, sled hills, and swimming pools can all be part of a community park. The service area for such a facility can vary based upon the size and scope of activities offered; however, a park of this type may serve 50,000-80,000 people or 5-8 acres per 1,000 people.

Community parks generally range in size from 15 to 50 acres. However, due to available land area, sites over 10 acres in size can be appropriate to accommodate such activities. These parks are designed for a 1 to 3 mile radius of service and usually serve two or more neighborhoods. They are also easily accessible by multiple modes of transportation with on-site parking available.

The one-mile service area radius for this park classification as shown on Exhibit 3 in Chapter XIII, indicates BGPDP's community park covers the majority of the land within the park district boundaries, except the far south end of town, most of which is served by neighborhood and mini park sites.

The BGPDP contains eight community parks:

- Alcott Center and Park – 6.8 acres
- Emmerich Park – 13.0 acres
- Emmerich East Park – 8.75 acres
- Green Lake Park – 20.0 acres
- Kilmer School and Park – 8.0 acres
- Mike Rylko Community Center – 76.5 acres
- Twin Creeks Park – 7.0 acres
- Woodland Park – 14.0 acres
- Willow Stream Pool and Park – 54.0 acres

SPECIAL USE PARKS

Special use parks are areas that include specialized recreational activities. These activities can have a very broad range from field houses, marinas, gardens, outdoor theaters, nature centers, and golf courses. NRPA does not have specific standards for special use parks; however, these parks usually provide amenities that serve the entire district as well as visitors from beyond the district.

The BGPDP has five facilities that fall into the special use category:

- Aptakisic Park – 4.0 acres
- Cooper Park – 6.0 acres
- Happy Tails Dog Park – 2.5 acres
- Crossing Pond – 10.9 acres
- Frenchmens Cove – 4 acres

DETENTION AND OPEN SPACE

In addition, the BGPDP has eight sites which do not provide any recreational activities that meet the Mini, Neighborhood, or Community Park criteria. Therefore, for this analysis, they have been classified as open space. These sites are typically dry detention sites that in some cases offer connection to the district bike path system

- Candlewood Detention – 0.75 acres
- Northwood Park/ Detention – 3.29 acres
- Oxford Park – 1.0 acres
- Wellington Commons Park/ Detention – 8.25 acres
- Highland Point Park/ Detention – 10.2 acres
- Sommerset Detention – 1.0 acres
- Winfield Park/ Detention – 2.4 acres
- Lions Park – 5 acres

BUFFALO GROVE PARK DISTRICT PARKS AND FACILITIES

The BGPDP oversees 51 park sites with a total of 417.37 acres. The BGPDP Park Matrix reflects the current inventory of parks, their acreage, classification, and amenities as shown in Figure 41 in chapter 12. The BGPDP currently is providing 376.48 acres of developed land, or 9.07 acres per 1,000 population, which falls within the NRPA recommendation of 6.25 to 10.0 acres/1,000 population. This calculation includes the acreages of Community, Neighborhood, Mini, and Special Use parks.

BUFFALO GROVE PARK DISTRICT PARKS AND FACILITIES, cont.

Based upon the Park, Recreation, Open Space and Greenway Guidelines, the NRPA Level of Service (LOS) is a standard evaluation of park type and acreage across all park agencies based on what they offer their residents (James D. Mertes, 1996). The LOS is typically defined in parks and recreation master plans as a ratio representing the minimum amount of open space and park land needed to meet the recreation demands of the community.

The National and Recreation Park Association recognizes the importance of the level of service as:

- An expression of minimum acceptable facilities for citizens of every community.
- A guideline to determine land requirements for various kinds of park and recreation areas and facilities.
- A basis for relating recreational needs to spatial analysis within a community-wide system of parks, recreation areas, and open areas.

(James D. Mertes, 1996)

NRPA also states that each community should be considered on an individual basis in order to tailor the most appropriate range, quantity and quality of recreational facilities within the district's fiscal limits. Acreage of park land per 1,000 residents remains the most common technique of expressing equal opportunity, even though conditions and needs vary greatly between areas. This technique was utilized to determine the Level of Service for the Buffalo Grove Park District.

Figure 16 incorporates the 41,496 population served by the Buffalo Grove Park District and compares it to the minimum NRPA Standard of acres per 1,000 population for each classification of Mini Park, Neighborhood and Community Park classifications. NRPA does not have standards that pertain to special use parks.

BGPD is deficient in the acreage per population for Mini Parks, but exceeds the acreage for Community Parks and Neighborhood Parks. It is not uncommon to see deficiencies in meeting the acres per 1,000 recommendations in older mature communities such as Buffalo Grove that experienced their growth prior to the development of the NRPA standards.

FACILITY STANDARDS

An evaluation of the Park District's facilities based on quantitative national and state standards is summarized in the Figure 17.

Past NRPA Level of Service recommendations have suggested facility development standards in addition to the core system for park classifications. Due to the extreme variability of facilities and needs nationwide, the NRPA no longer uses these recommended Facility standards to define the number of recreation facilities needed to accommodate a community's needs for various activities. However, the NRPA standards are generally an adequate approximation of the surpluses and deficiencies of various facilities. It is important to note that local demand may be

greater than the national standard.

For Figure 17 that follows, the number of BGPD facilities is also compared against the 2014-2019 State Comprehensive Outdoor Recreation Plan (SCORP) guidelines for recreation facilities in Illinois. Though informative, these are guidelines based on the statewide inventory of reported facilities and may not directly pertain to Buffalo Grove. The Illinois Department of Natural Resources conducted a study on the state's total supply of local outdoor recreation lands and facilities per 1,000 state residents. The state standards referenced below are from the 2015-2019 Illinois Statewide Comprehensive Outdoor Recreation Plan (SCORP) and the Illinois Recreation Facilities Inventory (IRFI). The SCORP data is also used by IDNR to assist in analyzing community grant applications, such as the Open Space Lands Acquisition and Development grant (OSLAD) and the Land & Water Conservation Fund (LWCF). When the District is compared to the NRPA standards, the BGPD is deficient in tennis courts, volleyball courts, football fields, picnic shelters, and driving ranges. While trails appear to be deficient, the total trail miles available to the community exceed the standard. When compared to the IRFI, the BGPD is only deficient in football fields. Except for the picnic shelters, these deficiencies could be addressed by other providers such as schools and local golf courses. The BGPD has a surplus of

FACILITY STANDARDS, cont.

basketball courts, ball fields, swimming pools, playgrounds, and recreation centers. However, a number of facilities/amenities have met or are close to meeting the end of their useful life as described in the “IDNR Division of Grant Administration Useful Life Criteria” (7/21/97). It is recommended that a comprehensive capital plan be considered that builds upon this information of aging parks. Such a plan would provide specific direction in prioritizing the immediate needs as well as establish a capital budget replacement strategy.

NRPA PARK METRICS

Launched in 2009 as PRORAGIS, the NRPA Park Metrics is a search-able, online national database for use by park districts and park and recreation departments. The power of NRPA Park Metrics is its ability to run comparative reports to help agencies effectively manage and plan their resources and facilities. The park agency enters the information regarding their district and the data can then be used to generate benchmarking reports. Users also have access to GIS mapping tools.

The Buffalo Grove Park District should create a profile through PRORAGIS and compare the Park District’s results against other agencies with a similar size and demographic. The database will let you compare the number of facility types such as ballfields, basketball courts, and tennis courts similar to Table 3 but the data will be applicable to the communities surrounding Buffalo Grove that are also utilizing PRORAGIS and not based on a median of the national average.

SUMMARY

The Buffalo Grove Park District’s existing park facilities are generally in good condition and provide adequate amenities to serve the neighborhood or larger community as intended. The park district meets NRPA guidelines on acres per 1,000 residents at 9.07 acres/1,000. However, mini parks are below the NRPA requirements. Community and Neighborhood parks exceed the minimum guidelines. The overall distribution pattern of the parks and facilities indicates Buffalo Grove is well covered, except for a small portion east of Weiland Rd. and north of Lake Cook Rd. which is not covered by neighborhood or mini parks. This portion of the park district has access to the playground at Pritchett School. Upon review of the community survey results from mySidewalk®, the residents do not feel they are lacking in park space. If you combine the service area summary with the residents’ satisfaction with the overall quality and maintenance of the park sites, it is evident that the BGPD offers facilities and services that meet the residents’ expectations.

2014 Population of Buffalo Grove 41,496 (U.S. Census, 2010 Survey)

Park Classification	Buffalo Grove Park District Existing Parks		NRPA Recommended Guidelines		Total Acreage Provided
	Acreage	Level of Service (acres per 1,000 residents)	Acreage	Level of Service (acres per 1,000 residents)	
Mini Parks	1.23	0.03	10.37	0.25	(-9.14 ac. deficit)
Neighborhood Parks	139.80	3.37	41.50	1.00	98.3 ac. surplus
Community Parks	208.05	5.01	207.50	5.00	0.55 ac. Surplus
Special Use	27.40	0.66		no guidelines	
TOTAL ACRES	376.48	9.07	259.37	6.25	

(right: population served by BGPLD with each park in relation to NRPA standards)

Figure 16- Population and Park Classification

Buffalo Grove Park District Amenities

Facility Type	NRPA Guidelines				Illinois Recreation Facilities Inventory (IRFI) (SCORP)			
	Recommended Level of Service (1 per X residents)	BGPLD Existing # of Facilities	Required # of Facilities	Surplus/ (Deficit)	IRFI (state average per 1,000 pop.)	BGPLD Existing # of Facilities	Required # of Facilities	Surplus/ (Deficit)
Outdoor Basketball	1 per 5,000	26	8	18	0.1348	26	6	20
Tennis	1 per 2,000	26	21	(-3)	0.1713	26	7	19
Volleyball	1 per 5,000	11	8	(-2)	Not available	11		
Ball Fields	1 per 5,000	29	8	21	0.2942	29	12	17
Spray Park	Not available	2			0.0245	2	1	1
Football	1 per 20,000	1.5	2	(-2)	0.0391	0	2	(-2)
Soccer	1 per 4,000	27	10	17	0.156	27	6	21
Swimming Pool	1 per 20,000	2	2	0	0.0215	2	1	1
Running Track	1 per 20,000	1	2	0	Not available	0		
Playground		29			0.3402	29	14	15
Recreation Center	1 per 100,000	6	0	6	Not available	6		
Picnic Shelters	1 per 2,000	9	21	(-12)	0.2262	9	9	0
Skate Park	1 per 100,000	1	0	0	0.0142	1	1	0
Golf Driving Range	1 per 50,000	1	1	0	Not available	1		
Trail System (miles)	1 mile per 2,000	11.05*	20.75	(-9.75)	0.2265	11.05 *	9.40	1.65

(left: BGPLD amenities compared to SCORP guidelines)

Figure 17- Facilities Offered and Set Standards



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VII Benchmarking

COMPARISON OF LOCAL PARK DISTRICTS

To better understand how well the Buffalo Grove Park District serves its residents, a comparative analysis with other local park districts was developed. Benchmarking is a tool used by agencies to measure where they fall in contrast to other agencies. The BGPD was benchmarked against five surrounding park districts: Wheeling, Arlington Heights, Vernon Hills, Palatine, and Mt. Prospect.

For this analysis, the key benchmarking data sought included:

- Population
- Median household income
- Total number of parks/facilities
- Total park acres
- Acres per 1,000 residents

- Total number of outdoor tennis courts
- Number of athletic fields, including:
 - o Baseball/softball
 - o Soccer
 - o Football
- Number of Playgrounds
- Total expenditures
- Capital improvement expenditures
- Equalized assessed value

POPULATION CHARACTERISTICS

The five park districts included in this comparison range in population from 25,535 to 75,577, with an average of 47,770. The village of Buffalo Grove is nearest this average, with a population of 41,613. While the range is

somewhat expansive, the park districts were chosen for this benchmarking due to their proximity to Buffalo Grove. The reported populations through the U.S. Census Bureau consist of village populations, not park district service areas.

PARK AND FACILITIES

Relative to parks and facilities, the total acres of owned and leased land by the park districts was used for comparison. The six park districts being compared range in park acreage from 329 to 714 acres. Buffalo Grove was closer to the beginning of the range, with ~417 park acres.

Traditional park baseline standards set

PARKS AND FACILITIES, cont.

by the National Recreation and Park Association (NRPA) in “Park, Recreation, Open Space, and Greenways Guidelines” suggests 6.25 to 10 acres of park land per 1,000 people (Mertes & Hall, 1996). These recreation standards are commonly used in open space planning purposes and can be adjusted based on community preference. Buffalo Grove exceeds the baseline, with 14.6 acres per 1,000 residents. The only park district with a higher ratio is Vernon Hills, with 15.6 acres per 1,000 residents. This ratio is bolstered by several large community parks and sports complexes. All park districts in this benchmark do, indeed, meet these NRPA guidelines.

NUMBER OF PLAYGROUNDS

Due to the extreme variability in nationwide trends and facility needs, the NRPA does not establish a recommendation for the number of playgrounds. In order to provide a point of comparison for benchmarking, this report references the Illinois Recreation Facilities Inventory which provides a state average for the number of facilities. The 2015-2019 inventory reports a Statewide Average of 0.3402 playgrounds per 1,000 population, or 1 playground per 2,939. Reviewing the benchmarked park districts, the quantity of playgrounds for every agency is above the Statewide Average, with the exception being Wheeling Park District at 2 playgrounds short.

CAPITAL IMPROVEMENTS

There are some significant differences in level of spending on capital improvements with the park districts from this benchmark, with the overall

average at \$2,206,607. The lowest amount is spent by Vernon Hills Park District at \$512,104, and the highest amount is spent by the Buffalo Grove Park District at \$3,784,502.

In terms of “per capita” capital spending, the average is \$48.21. The lowest amount is from Arlington Heights Park District at \$16.71, while the highest is Buffalo Grove Park District at \$90.95.

EQUALIZED ASSESSED VALUE

The equalized assessed value (EAV) varies from \$916,867,628 to \$2,406,137,827. The average EAV for the six park districts is \$1,533,761,946. The Buffalo Grove Park District’s EAV is \$1,449,550,149, which is slightly below the average. The lowest on the range is Wheeling Park District, while the highest is Arlington Heights Park District.

Comprehensive Master Plan 2017

	Buffalo Grove Park District	Wheeling Park District	Palatine Park District	Vernon Hills Park District	Arlington Heights Park District	Mt. Prospect Park District
Community Overview						
Population (1)	41,613	37,886	51,845	25,535	75,577	54,167
Median Household Income (2)	\$96,768	\$57,543	\$72,180	\$89,667	\$78,865	\$69,155
Park District Overview						
Total Number of Parks/ Facilities	51	19	69	28	63	32
Total Park Acres	417.37	329	675.87	399	714.79	454
Acres per 1000 Residents	14.6	8.7	13.0	15.6	9.5	8.4
Total Outdoor Tennis Courts	26	0	14	12	52	18
Number of Athletic Fields	49	10	70	21	55	35
Baseball/Softball	29	6	41	17	45	24
Soccer	21	4	25	4	7	9
Football	0	0	4	0	3	2
Number of Playgrounds	30	10	29	24	42	22
Finances (3)						
Total Expenditures	\$16,588,235	\$11,628,675	\$22,653,171	\$8,494,863	\$26,182,545	\$19,502,881
Capital Expenditures/Outlay	\$3,784,502	\$2,130,477	\$3,057,789	\$512,104	\$1,262,550	\$2,512,222
Capital Expenditure % of Total Expenditures	22.8%	18.3%	13.5%	6.0%	4.8%	12.9%
Per Capita Capital Expenditure	\$90.95	\$56.23	\$58.98	\$20.05	\$16.71	\$46.38
Total Equalized Assessed Value (3)						
	\$1,449,550,149	\$916,867,628	\$1,982,353,941	\$1,034,209,066	\$2,406,137,827	\$1,413,453,067
1. U.S. Census Bureau 2015 Estimates						
2. U.S. Census Bureau 2015 Estimates						
3. 2015 Annual Financial Reports						

Figure 18- Table of Local Park Districts, Benchmarking Buffalo Grove Park District Master Plan 37



BUFFALO
GROVE
PARK
DISTRICT

Comprehensive Master Plan

Facilities Assessment



Executive Summary

Introduction

History

Community Profile
and Demographics

Visioning

Park Classifications

Benchmarking

Facilities Assessment

Park Operations and
Recreational Programming

Park Assessments

Maps

Sustainability

Recommendations

Implementation

Conclusion

VIII Facilities Assessment

INTRODUCTION

As part of the planning process, a Facilities Condition Analysis for the Alcott Center, Buffalo Grove Fitness Center, Community Arts Center, Emmerich Park, Golf & Sports Center, Raupp Museum, Spray ‘N Play, Twin Creeks Park and Willow Stream Pool was conducted. The Park District wanted to review the current facilities to assess the existing conditions and potential costs of time of repairs, equipment replacement and potential upgrades for the Park District’s fiscal planning purposes.

Existing building drawings were reviewed and field surveys conducted to assess existing conditions at each of the facilities. The findings for each facility have been placed into a prioritization matrix with costs identified to address each item. Additional costs have also been shown for system

replacement costs that can be used by the Park District in replacement and / or maintenance costs in future years.

Facilities Assessment

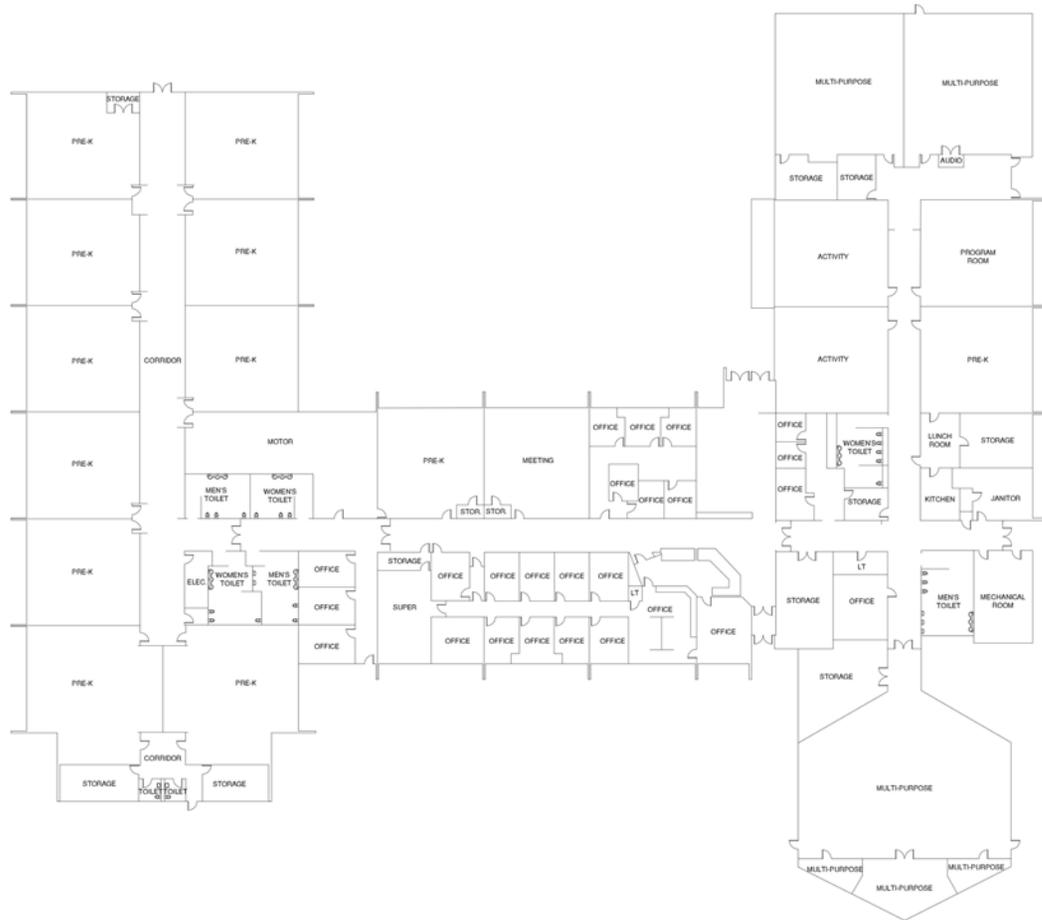
ALCOTT CENTER



Facility Location: 530 Bernard Drive
Buffalo Grove, IL 60089

The Alcott Center was originally built as a school, and the Park District eventually purchased the facility. There was a small addition in 2001, and a massive mechanical renovation in 2012. There have also been small renovations and interior upgrades that have occurred occasionally.

The building is a single-story masonry structure. The facility is 58,515 sq.ft in size. The facility houses the District's main office and operations. The office function of the District is split up into smaller areas around the building, which includes Information Technology, Athletic Supervisors, Finance, Administration, and Board Room. An entire wing is devoted to the District's Pre-Kindergarten program. There are several program spaces throughout the facility that are used for various District functions, including senior program, sports, education, etc.



EXISTING SQUARE FOOTAGE

First Floor: 58,515 SF

TOTAL: 58,515 SF

Breakdown by Use:

Pre-K: 17,500 SF

Administration: 9,050 SF

Multi-Purpose: 15,700 SF

Storage/Equipment: 4,465 SF

Circulation: 9,500 SF

Toilet Rooms: 2,300 SF

Facilities Assessment

ALCOTT CENTER



SITE AND PARKING

The facility is accessed off Bernard Drive and is surrounded by residential homes. There is a main entry drive that allows patrons to ‘drop-off’ at the front entry. A couple of parking spaces and handicap accessible parking is available along this drop-off. Additional parking is provided at the rear of the facility. The parking lot is in decent condition, with some areas near storm structures showing signs of excessive cracking. Those areas should be addressed in the short term, and ultimately repaired fully when the parking lot is resurfaced in the future. Standard maintenance should be continued to extend the life of the pavement as long as possible; however, it should be anticipated that the pavement may need to be ground and resurfaced within the next 10 years.



The sidewalk access around the facility is in decent condition. There are several exit door locations that only have a concrete stoop provided. These exits require a path to a public way for emergency. A sidewalk should be installed at these locations and maintained during all weather conditions to ensure proper exiting requirements.

BUILDING ENVELOPE

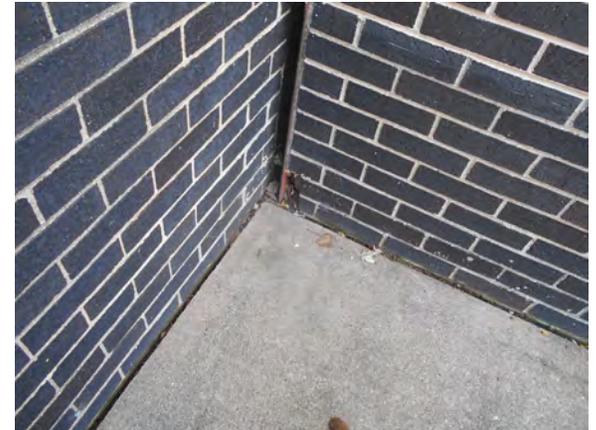
The facility is masonry construction with a face brick veneer. There is a steel structure interior and at some exterior walls that support the roof structure of the facility. The majority of the brick veneer appears to be in decent condition. There are several lower areas near pavement and on exterior corners of masonry piers that show excessive mortar recession between bricks. This mortar has deteriorated over time, and is typically a result of freeze/thaw cycle with respect to moisture. The lower elements near the pavement is a result of ice and salt. All of these areas will require tuck-pointing repair of the mortar.

There are some hollow metal doors and frames that are dented up and rusting to the point that they could impact exiting. These doors and frames should be repaired or replaced in kind.

The aluminum window system is in good condition around the entire facility. The west elevation of the facility has several of the frame covers shifted or moved either through expansion/contraction or as a result of vandalism. These covers can cause issues with the longevity of the frame system and their operation. They also provide a potential location for wasps and other pests to nest. These covers should be adjusted and system checked for proper operation.

Given the construction of the original building, there is exposed unpainted steel column flange edges near window fenestrations. Most of these edges were originally covered and protected by caulking which has since deteriorated. These edges should be cleaned up and re-caulked around the entire original building perimeter envelope.

The original building's gymnasium, now the facility's multi-purpose room has some major exterior envelope concerns. This entire perimeter is very evident of the deteriorated masonry mortar brought up earlier in the report. The clerestory glazing and framing is single pane glazing that has deteriorated potentially past the point of repair. If this portion of the building is to be salvaged, these windows should be fully replaced and the exterior fully tuckpointed. The connection of this building to the rest of the facility also has large open joints in the exterior brick veneer that needs to be sealed. Adjacent pavement on the east side, where there must have been an old entrance originally, is sloping towards the facility, which can cause larger issues if the water is allowed to continue the freeze/thaw cycle.



Facilities Assessment

ALCOTT CENTER



BUILDING ENVELOPE, cont.

The roof was replaced a couple of years prior to the large mechanical system replacement project on this facility, so it appears to be 5-6 years old. The roof has not fared well, and has only compounded its issues with the limits of the mechanical system install on the roof. The roof membrane appears to be under-sloped in many areas that have resulted in standing water in multiple areas. The installation of the mechanical system has thrown in other diversions that potentially slow water flow and have helped to contribute to the roof issues. There are several areas around the perimeter that have de-laminated cap sheets and have water infiltrating through the membrane and potentially into the facility/ structure. An example is near the edge of the administration offices and about on the west end of the facility near the middle.

The roof membrane installed requires regular maintenance to ensure that the water flows properly. This means that the roof membrane should be cleaned twice a year at a minimum. Confirm with the manufacturers recommendations. The condition

of the roof membrane currently is representative of a roof that appears much older than the roof is.

There are several areas where gutters are not pitched properly and holding water. This will continue to cause issues, especially during the winter period when ice damming can occur.

The entire roof of the multi-purpose room building has been patched and stretched well past its life. The fascia, framing, and other edge materials have begun to deteriorate as a result of the roof's condition. If this facility is to remain, this entire roof and its trim should be replaced. The mechanical penetrations from the roof into the building should be sealed and finished to continue that enclosure protection.

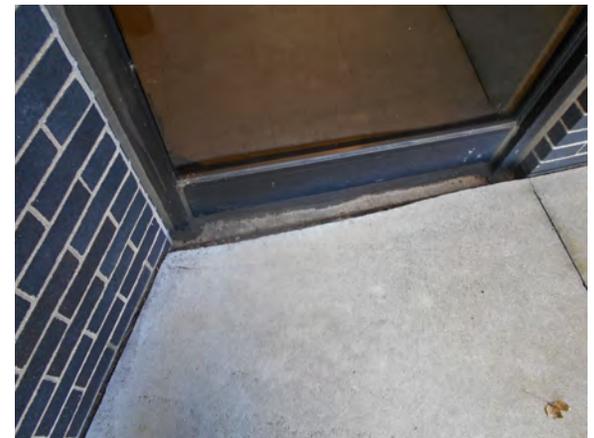
The mechanical system install has

BUILDING ENVELOPE, cont.

limited the District's options in terms of roof maintenance and replacement in the future. Any work in the future will result in a much higher cost. This should be considered when planning for future life cycle of the system.

The installation of the mechanical equipment chiller and electrical panels in the southwest corner of the building has created a condition that has allowed vandals to access the roof. They have damaged the roof and equipment and pose a potential liability to the District. This area should be fenced off from public and the roof edge gated off from access to prevent vandal access.

The rooftop units had air filters that were displaced and/or full of debris. Regular maintenance of the filters for the units should occur to prolong the life of the units.



Facilities Assessment

ALCOTT CENTER



MECHANICAL/PLUMBING/ELECTRICAL SYSTEMS

The mechanical system for the entire building was replaced in 2012 under a large project. The ductwork feeds for the building are run on the roof. There are roof top air handlers that serve the function of the system and a ground-mounted chiller. Each of these systems are very new and have only started their life cycle. The District should be able to get 25 years out of the system with proper maintenance.

The lighting in the facility mainly consists of fluorescent lighting fixtures. There appears to be some locations in the facility that have been upgraded to LED during a renovation. The District may consider replacing the rest of the fixtures and upgrading to all LED in the future for energy costs and quality of lighting.

The electrical service of the facility appears to have been updated for the small renovations in smaller quantities, but the majority of the main service is original to the building. Typical manufacturer recommended useful serviceable life

for service boards and associated equipment is approximately 30 years in most installations. Recommend routine maintenance including lug torque check for all panelboards and feeders.

The building is completely protected by a fire suppression system and fire alarm system. The general coverage for detection and annunciation appeared typical and adequate for a building of this type and use. The spaces that have been turned into offices at the athletics, finance, motor skills, and pre-school are missing fire alarm visual devices. These rooms must meet code and have these devices provided.

The storage rooms in the program wing and pre-school wing do not appear to have smoke detection provided.

INTERIOR CONDITIONS/FINISHES/ ACCESSIBILITY

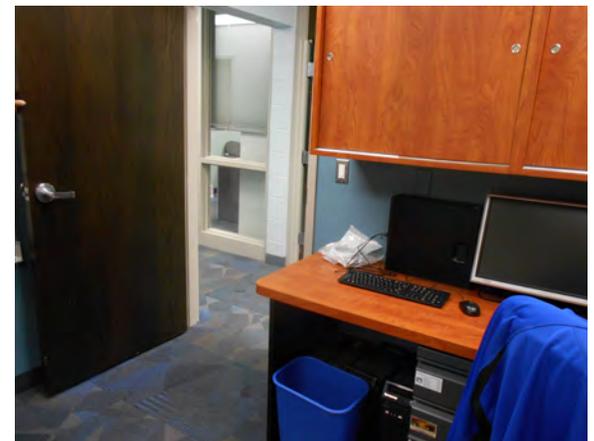
Overall, the interior of the building has been well maintained. Flow through the building is open and clear. The original design of the building has resulted in splitting up administration function throughout the facility, which does provide some difficulty and disconnect between operations. There are several locations in the original building at the program rooms where the room doors swing out into the corridor. This door swing impacts exit egress width of the exit corridor, ultimately affecting potential exiting. There are also drinking fountains and coat-hook caddies in the pre-school and program wing that stick out into the corridor that extend into the accessible path. The maximum projection off the wall is 4" unless the item extends low enough to the ground to meet IAC & ADA.

There are several program spaces that still have vinyl asbestos floor tile (VAT) installed for flooring. This flooring appears in good condition and can remain if properly maintained. If any renovation work occurs, the tile and adhesive will need to be remediated. Occupants should be careful not to drag items across or gouge the flooring while it continues to be used.

The majority of the facility meets accessible requirements, but there are items that do not comply with the Americans with Disabilities Act Architectural Guidelines (ADAAG). Since this building was constructed, and last renovated, many revisions have been made to accessibility standards. The Americans with Disabilities Act (ADA) was adopted in 1990 with subsequent revisions in 2010 which requires more space for accessible routes, including, entries, corridors, stairways, toilet rooms, etc. Publicly owned buildings are held to a higher standard for accessibility than privately owned buildings. While there are many rules that govern when a space needs to be brought into compliance with accessibility standards generally, if a space is renovated it will be required to be brought into compliance with the Illinois Accessibility Code (IAC) and the ADA.

There are sinks in program rooms that do not meet IAC ADA requirements. Each of these locations should be addressed.

The movable partition in the newest addition has resulted in some damage to the adjacent construction and ceiling. It appears that the floor is not within tolerance variance and the difference between ceiling and track elevation is not great enough to account for panel movement. This area should be looked at and addressed to prevent future damage.



Facilities Assessment

ALCOTT CENTER



INTERIOR CONDITIONS/FINISHES/ ACCESSIBILITY, cont.

The offices in the facility are undersized. Many offices do not allow for proper clearances at the door to meet IAC and ADA with regards to push/ pull or proper turning clearances. The Information technology office is undersized and houses equipment storage. The space utilized was originally a storage room. The space does not allow for the room door to close when occupied. Several intermediate hubs are located through the facility. Each are not secure and open to staff. Each of these hubs should be under security to prevent access.

The second exit corridor in the administration is too narrow and does not meet IAC & ADA requirements.

All the doors to the pre-school rooms in the pre-school wing do not have proper push/pull clearance required by IAC & ADA.

The main entrance to the athletic offices does not have an exit sign provided.

The finance storage room has items stored too close to the ceiling to allow the fire suppression room to

work properly. All storage should be kept a minimum of 18" from the ceiling, confirm with local fire department regulations.

The secondary exit from the south pre-school rooms in the pre-school wing sticks and does not allow proper operation in an emergency. This door & frame should be replaced, especially since the main occupants that would be using this door are pre-schoolers and will have problems meeting the minimum operation pressure due to their size.

The small kitchen area in the pre-school wing has a stove that has no exhaust hood provided.

There are signs of some settling in the masonry of the existing building at the pre-school wing. The cracks are minimal and appear stable. This settling is not structural, but continued monitoring should be completed to determine if there is concern in the future.



ANALYSIS OF ALCOTT CENTER

The analysis of the facility focuses on 5 major points of concern:

1. Systems, equipment, and spaces / functions that the facility should have to comply with applicable building codes in effect when the building was constructed or last remodeled.
2. Space needs for the current building based upon current usage patterns and requirements.
3. Relationships/interaction & separation/isolation of spaces / departments recommendations.
4. Issues that do not comply with current building code and will be required to be compliant at the time of next major remodeling or addition to the facility.
5. Miscellaneous comments/issues including good practices.

Each item has also been evaluated on a life safety basis. Certain items should be completed sooner than others based upon the impact they have on the safety of the occupants, employees, or public.

(a) Urgent – items that present an immediate hazard to the safety of the occupants. These items should be typically corrected within a 1-2 year period.

(b) Required – items that are necessary for a safe environment but present less of an immediate hazard to the safety of the occupants. These items should be typically corrected within a 2-4 year period.

(c) Recommended – items that do not present any immediate hazard to the occupants. These items should be typically completed within a 4-10 year period if found to be pertinent to the District's Strategic Plan.

This double classification approach is shown to provide a minimum amount of work required to get the current facilities safe for its occupants. It helps define each item according to operations and need. Ultimately it helps give the District a game-plan on addressing the facility.



Facilities Assessment

ALCOTT CENTER

ALCOTT CENTER Item / Issue	TYPE OF ITEM (1, 2, 3, 4, 5)	PRIORITY OF ITEM (a, b, c)	ESTIMATED IMPACT
1 Repair Pavement Cracking at Storm Structures	5	b	
2 Replacement of Asphalt / Concrete Paving / Drives	5	c	
3 Install Sidewalk for Proper Exiting	1	a	
4 Tuck-pointing Brick Veneer	5	b	
5 Repair / Replace Damaged Hollow Metal Doors for Exiting	5	a	
6 Adjust / Check Shifted Aluminum Window System Frame Covers	5	b	
7 Re-caulk Building Perimeter Envelope, Where Deteriorated	5	b	
8 Replace Window System in Multi-Purpose Room	5	b	
9 Clean Roof Membrane, Per Manufacturer's Recommendations	5	b	
10 Re-pitch Gutters	5	b	
11 Replace Roof and Trim at Multi-Purpose Room	5	b	
12 Seal Mechanical Penetrations at Multi-Purpose Room	5	b	
13 Install Fence and Roof Edge Gate at SW Corner of Building	2	a	
14 Replace Rooftop Unit Air Filters	5	b	
15 Upgrade Remainder of Light Fixtures to LED	5	c	
16 Perform Routine Maintenance for All Panel-boards and Feeders	5	b	
17 Install Missing Fire Alarm Devices	1	a	
18 Install Missing Smoke Detectors	1	a	

ALCOTT CENTER Item / Issue		TYPE OF ITEM (1, 2, 3, 4, 5)	PRIORITY OF ITEM (a, b, c)	ESTIMATED IMPACT
19	Address Door Swings, Drinking Fountains, Cubbies in Egress Path	4	b	
20	Remove VAT and Adhesives if Areas are Renovated	4	c	
21	Address Sinks not in Compliance with ADA and IAC	4	a	
22	Address Movable Partition and Adjacent Damaged Construction	1	b	
23	Address Office Sizes to Meet ADA and IAC	4	b	
24	Address Facility Security and Control	2	b	
25	Address Second Exit Corridor in Administration to Meet ADA and IAC	1	a	
26	Address Doors in Pre-School Wing to Meet ADA and IAC	4	a	
27	Install Missing Exit Signs	1	a	
28	Reduce Storage in Areas Exceeding Height Limits	1	a	
29	Replace Second Exit Door and Frame in Pre-School Rooms	1	a	
30	Install Exhaust Hood in Pre-School Kitchen Area	1	b	
31	Monitor Settling Cracks and Repair as Required in Pre-School Wing	5	b	

Figure 20- Alcott Center Assessment Table

Facilities Assessment

BUFFALO GROVE FITNESS CENTER



Facility Location: 601 West Deerfield Parkway
Buffalo Grove, IL 60089

The Fitness Center was built in 2000. An addition and renovation occurred in 2005. The facility is a steel and concrete structure with CMU split-face masonry, metal panel, exterior insulation finish system (EIFS), or cast concrete veneer.

The facility houses the District's fitness programs, gym, pool, and associated functions. There is rented space from third party vendors of Athletico, ELC, and Frulatti. The basement is mainly equipment and mechanical space with the exception of storage and maintenance operations. A second floor track is provided around the fitness center. The facility is 82,010 sq.ft. in size.

EXISTING SQUARE FOOTAGE

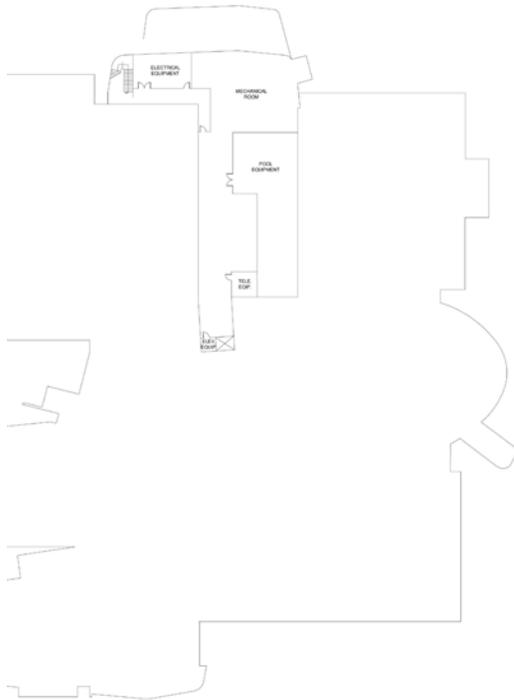
First Floor: 68,505 SF
 Basement: 7,245 SF
 Mezzanine: 6,260 SF

 TOTAL: 82,010 SF

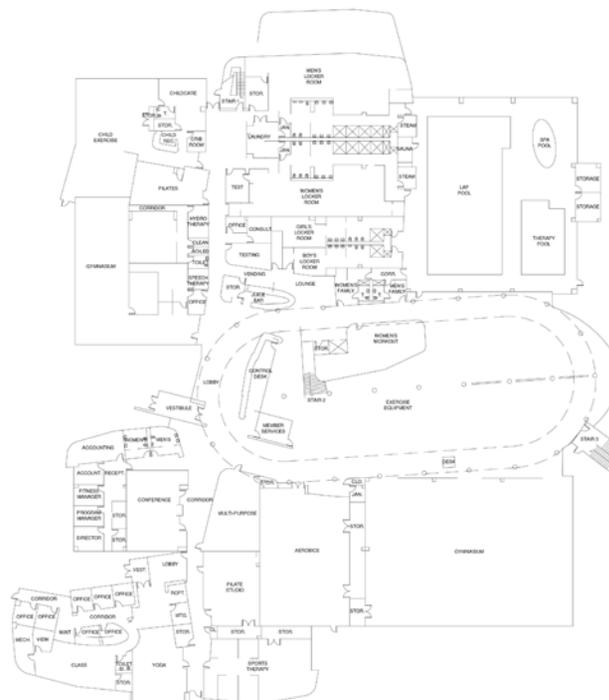
Breakdown by Use:

Administration: 3,256 SF
 Athletic: 3,285 SF
 Circulation: 7,643 SF
 ELC: 6,044 SF
 Exercise Equipment: 11,000 SF

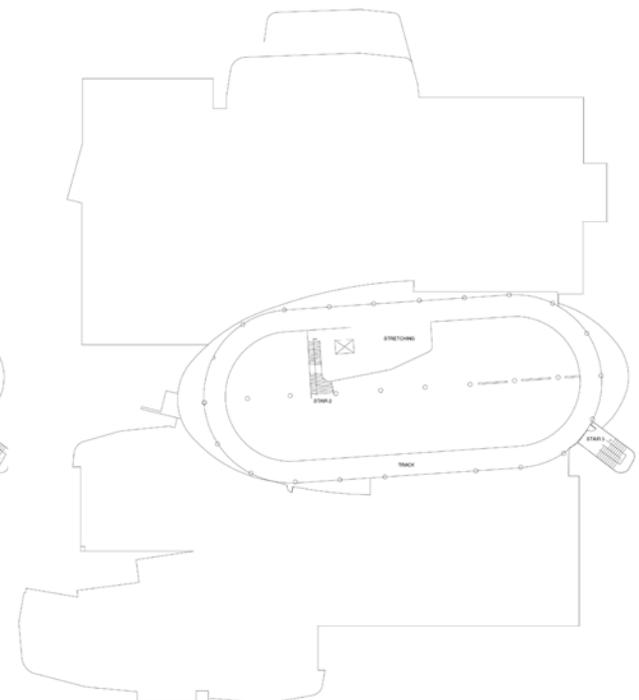
Gymnasium: 7,250 SF
 Health/Fitness/Track: 17,627 SF
 Juice Bar: 900 SF
 Pool/Pool Support: 13,912 SF
 Storage/Equipment: 8,700 SF
 Toilet Rooms: 2,393 SF



BASEMENT FLOOR PLAN



FIRST FLOOR PLAN



MEZZANINE FLOOR PLAN

Figure 21- Fitness Center Floor Plans

Facilities Assessment

BUFFALO GROVE FITNESS CENTER



SITE AND PARKING

The facility is located off Deerfield Parkway just east of McHenry Avenue at the north end of Mike Rylko Community Park. It can be accessed off of either Deerfield Parkway or McHenry Avenue. It is connected via parking lot access to the Spray N' Play and the Golf & Sports Dome. The parking for the facility is to the west of the facility, and is sized close to required amount. The facility appears to require additional parking during peak times, and additional parking would be beneficial. There is a drop off drive for patrons, but currently is clogged by preferred parking for Athletico patrons. This area should be re-evaluated to provide a cleaner approach and minimize interaction between drop off and parking.

The pavement drive has signs of heavy cracking. Repair should be considered to prolong the life of the pavement. Replacement or resurfacing should be considered in 10 years.

The pavement is only located to the north and west sides of the building. The east and south end is open to turf, park, and trail.

There are several emergency exit doors around the facility that open to a stop condition. All exit doors need to provide a clear path to a public way by code. A sidewalk should be provided at all of these locations in order to meet code.



Facilities Assessment

BUFFALO GROVE FITNESS CENTER



BUILDING ENVELOPE

There are cracks in the split-face masonry above the entry covered walk that are a result of settling. These areas should be addressed and caulked. They should then be monitored in the future. With the tall screen walls on the roof to block the rooftop mechanical units, there are cracks that are evident in the EIFS system and masonry at various locations. Each of these need to be addressed and monitored.

Since the rear of the facility is not accessible, there are many location around the facility that have wasp nests in various locations. The District will need to put maintenance in their schedule to address pests at the areas of the buildings not accessible as others.

Caulking between dissimilar materials and control joints have evidence of caulking deteriorating. Old caulk should be removed and new caulk installed around the entire facility to maintain weather tightness.

The exterior wall of the pool has excessive efflorescence that is a result of the pool and mechanical pressure. The pool does not appear to be at a positive pressure, but it is pushing the moisture into the wall, which is coming out the masonry around the pool. The exterior wall should be reviewed near the joints to determine where the breach is if the mechanical system is not causing the pool to be a positive pressure. Any breaches in the wall should be sealed to protect the wall. The moisture has caused the lintels at the windows to rust. The lintels should be looked into further to ensure that no structural concern is evident. The exterior of the masonry should be cleaned and continued to be monitored. The joints in the mortar at the window sills has deteriorated and is open to the weather and moisture. All of this should be addressed in a study with a game plan developed on how to proceed.



Facilities Assessment

BUFFALO GROVE FITNESS CENTER



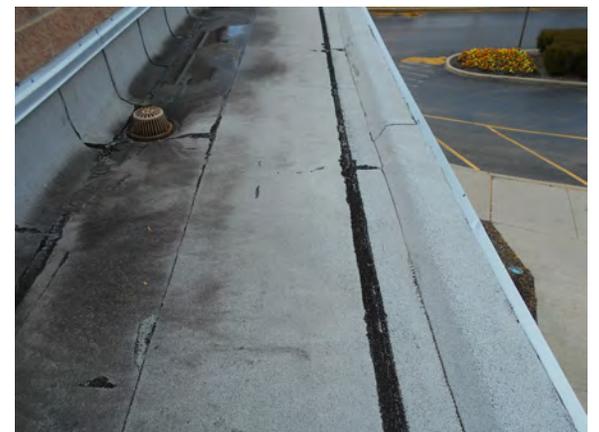
BUILDING ENVELOPE, cont.

The roofs on the facility is a mix of different products. The EPDM/ modified bitumen roof system on some areas was attempted to be coated to improve reflectivity and seal leaks in the roof. The coating has de-laminated and caused further damage to the roof membrane itself. This coating should be cleaned and removed from the membrane and the roof surface evaluated on options to salvage the roof without replacing the membrane completely. There is evidence near drains and other choice areas that show water infiltration into the roof through the membrane.



The entry covered walk roof has a modified bitumen roof surface that has several large bubbles in the roof that will break the membrane and damage the roof. The District should hire a roofer to come out and address the bubbles and patch the roof to keep the roof in good condition.

The District would benefit from a roof evaluation and plan on addressing the roof condition of the entire facility and develop a plan to address the roofs prior to them deteriorating past the point of salvage.



Facilities Assessment

BUFFALO GROVE FITNESS CENTER



MECHANICAL / PLUMBING / ELECTRICAL SYSTEMS

The mechanical system is original to the facility. All rooftop units, chillers, etc. are operating in good condition. The units are half of their expected life with proper maintenance. The units should be considered to be replaced in 10 years. Continue proper maintenance or replacement will be heavily reduced.

The lighting in the facility mainly consists of fluorescent lighting fixtures. The District may consider replacing the rest of the fixtures and upgrading to all LED in the future for energy costs and quality of lighting.

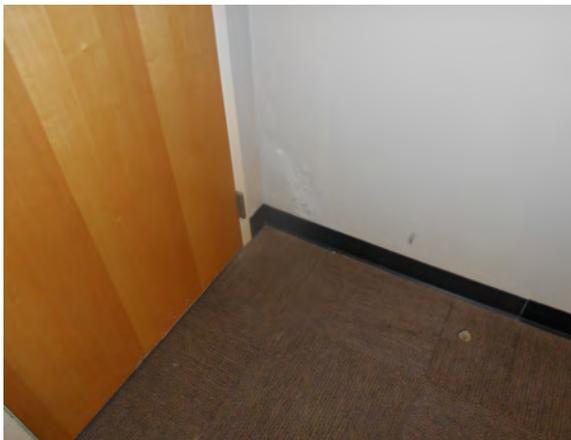
The electrical service of the facility appears that the main service is original to the building. Typical manufacturer recommended useful serviceable life for service boards and associated equipment is approximately 30 years in most installations. Recommend routine maintenance including lug torque check for all panelboards and feeders.

The building is completely protected by a fire suppression system and fire alarm system. The general coverage for detection and annunciation appeared typical and adequate for a building of this type and use.



Facilities Assessment

BUFFALO GROVE FITNESS CENTER



INTERIOR CONDITIONS / FINISHES / ACCESSIBILITY

The basement that houses the mechanical and pool equipment has excessive calcium stalactites forming from the cracks in the first floor concrete slab. These are a result of water infiltration from the first floor shower areas and pool deck. The only way to correct this is to fully remove finish on the first floor and install a proper waterproofing membrane to prevent moisture and water from infiltrating the slab. Continued issue will result in the slab to begin to fail/ spall initially. This condition should continued to be monitored.

Storage needs to be removed from the electrical room and the stair ways in the facility. These areas are not allowed to have storage of any kind via code. In the stair from the basement at the north end of the building, there is evidence of rusting at the landing deck. This appears to be a result of water infiltration at the exit door. This door should be properly sealed and any damage to the structure addressed.

There was evidence of water damage to ceiling tiles in the aerobics room. It is unclear if the damage is from

the roof or condensation. The floor was recently refinished in this room. This area should be monitored and addressed.

There is damage at the laundry space in the adjacent wall to the drain system on the backside of the wall. The drain should be looked at and proper water-proofing provided to prevent further damage.

The pool deck has some signs of grout deterioration in the middle between the hot tub and pool. This appears to be minimal, but should be addressed by the District.

ANALYSIS OF BUFFALO GROVE FITNESS CENTER

The analysis of the facility focuses on 5 major points of concern:

1. Systems, equipment, and spaces / functions that the facility should have to comply with applicable building codes in effect when the building was constructed or last remodeled.

2. Space needs for the current building based upon current usage patterns and requirements.

3. Relationships/interaction & separation/isolation of spaces / departments recommendations.

4. Issues that do not comply with current building code and will be required to be compliant at the time of next major remodeling or addition to the facility.

5. Miscellaneous comments/issues including good practices.

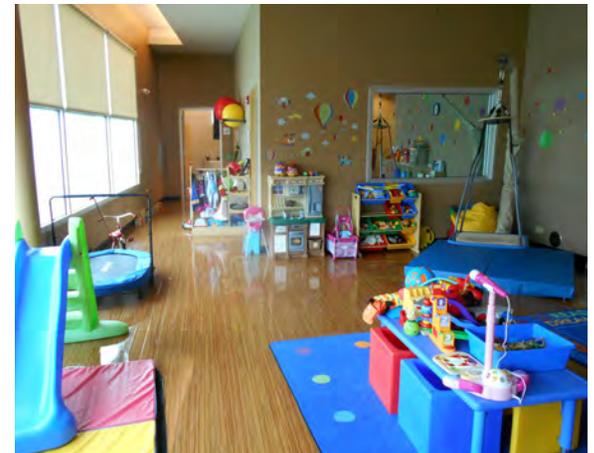
Each item has also been evaluated on a life safety basis. Certain items should be completed sooner than others based upon the impact they have on the safety of the occupants, employees, or public.

(a) Urgent – items that present an immediate hazard to the safety of the occupants. These items should be typically corrected within a 1-2 year period.

(b) Required – items that are necessary for a safe environment but present less of an immediate hazard to the safety of the occupants. These items should be typically corrected within a 2-4 year period.

(c) Recommended – items that do not present any immediate hazard to the occupants. These items should be typically completed within a 4-10 year period if found to be pertinent to the District's Strategic Plan.

This double classification approach is shown to provide a minimum amount of work required to get the current facilities safe for its occupants. It helps define each item according to operations and need. Ultimately it helps give the District a game-plan on addressing the facility.



Facilities Assessment

BUFFALO GROVE FITNESS CENTER

BUFFALO GROVE FITNESS CENTER Item / Issue	TYPE OF ITEM (1, 2, 3, 4, 5)	PRIORITY OF ITEM (a, b, c)	ESTIMATED IMPACT
1 Additional Parking	5	c	
2 Repair Pavement Cracking at Drive	5	b	
3 Replace or Resurface Pavement	5	c	
4 Provide Sidewalk Connection to Building Exits for Egress	1	a	
5 Remove Roof Coating and Assess Roof Condition	5	b	
6 Address Bubbles in Roof Membrane at Entry Covered Walk	5	b	
7 Address Cracks in Masonry and Caulk	5	b	
8 Address Cracks in EFIS System	5	b	
9 Address Wasp Nests Around Building Perimeter	5	b	
10 Remove Deteriorated Caulk and Re-Caulk at Dissimilar Materials	5	b	
11 Review and Address Moisture Issues in Pool Area Exterior Walls	5	b	
12 Replace Mechanical Units	5	c	
13 Upgrade Light Fixtures to LED	5	c	
14 Perform Routine Maintenance for All Panel-boards and Feeders	5	b	
15 Address Moisture Issues in Shower Areas	5	b	
16 Remove Storage from Electrical Rooms and Stairways	1	a	

BUFFALO GROVE FITNESS CENTER		TYPE OF ITEM (1, 2, 3, 4, 5)	PRIORITY OF ITEM (a, b, c)	ESTIMATED IMPACT
Item / Issue				
17	Seal Exit Door at North Stair	1	a	
18	Address Ceiling Water Damage in Aerobics Room	5	b	
19	Address Water Damage in Laundry Area	5	b	
20	Address Grout Deterioration in Pool Area	5	b	

Facilities Assessment

COMMUNITY ARTS CENTER



Facility Location: 225 McHenry Road
Buffalo Grove, IL 60089

The Community Arts Center was originally built as a lumber center. It was converted to a synagogue prior to the District purchasing it and converting it to the Arts Center in 2014. The facility is a steel structure facility with brick masonry veneer. The facility is used for performing arts, drama, dance, and similar function. It houses a theatre for presentations and a multi-purpose room for rentals. There is an administration office suite for the staff that operate the arts center. The facility is 41,395 sq.ft. in size.

EXISTING SQUARE FOOTAGE

First Floor:	41,395 SF
<i>TOTAL:</i>	<i>41,395 SF</i>

Breakdown by Use:

Circulation:	6,805 SF
Multi-Purpose/Support:	10,260 SF
Storage/Equipment:	9,525 SF
Theater/Support:	13,690 SF
Toilet Rooms:	1,115 SF



FIRST FLOOR PLAN

Figure 23- Community Art Center FLOOR Plan

Facilities Assessment

COMMUNITY ARTS CENTER



SITE AND PARKING

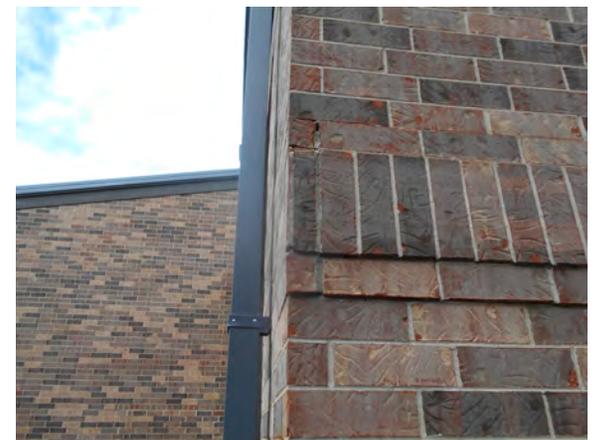
The facility is located behind commercial businesses on the east side of McHenry Road north of Lake Cook Road. There is residential located behind the facility, but mainly surrounded by commercial functions.

The parking lots at the south and north have some large cracking issues in the main drive aisles. The front entry was being revised during the time of the inspection, and that pavement was in good condition, as well as the pavement under the covered area at the rear of the facility. The pavement might be able to be maintained for a couple of years, but replacement or re-surfacing should be considered within the next 5 years. The base was probably undersized for the amount of traffic it received from the lumber operation function, which resulted in the cracking shown. The facility operation should not receive that level of traffic or weight loading.

There is parking located around all sides of the facility. Covered parking is located at the rear of the facility. The parking at the south should be signed for District patrons only to eliminate conflict with the adjacent businesses.

A fence might be considered to further develop that separation. The parking to the west must maintain a through passage for business access. A study should be considered to develop a better flow pattern in the parking lot that will keep the business traffic out of the majority of the facility parking and promote drop off condition.

At the rear of the site is the old lumber covered area that is currently being used for parking. This structure is mainly in good condition with the exception of the window infill and trim. These items should be repaired and sealed to keep all weather out of the structure and keep the wall construction in good condition.



Facilities Assessment

COMMUNITY ARTS CENTER



BUILDING ENVELOPE

The roof was recently replaced and is in excellent condition. The install appears to be a top notch application and the District should have a good amount of life out of the roof if maintained regularly. The shingle roof on the rear sparking cover has some damage and it can be repaired for the short term, but the roof should be considered to be replaced in the next 5 years.

The exterior of the building is masonry and is generally in good condition. Control joints in the masonry have evidence of the caulking deteriorating. Caulking needs to be removed and recaulked. There is some damage to the masonry near the new stage bay where it appears something either hit the building or there was some water damage that broke out the masonry. This area should be tuckpointed to maintain weather tightness.

The rear entry cover is generally in good condition. The area directly above the rear entry has evidence of damage that is believed to be prior to the new roof work being completed. This area will need to have the steel cleaned up, primed and painted. Any rusted steel

should be looked at further to determine if replacement is required prior to resurfacing.

The large louver opening on the north side of the building is deteriorating and should be replaced with a maintenance free type of material.

The exterior exit doors on the north side of the building have steps and are not accessible. These landings should have a ramp installed to provide an accessible entrance.

MECHANICAL / PLUMBING / ELECTRICAL SYSTEMS

The mechanical system mainly uses rooftop units for operation. Most of these units are at the end of their life and their replacement should be considered. The operation in the facility should be considered and units changed out to provide the most control for the operation that will benefit the District.

The lighting in the facility mainly consists of fluorescent lighting fixtures. There are some HID fixtures that do not work with the facility operation. The District may consider replacing the fixtures and upgrading to all LED in the future for energy costs and quality of lighting.

The electrical service of the facility appears that main service is original to the building. Typical manufacturer recommended useful serviceable life for service boards and associated equipment is approximately 30 years in most installations. Recommend routine maintenance including lug torque check for all panelboards and feeders.

The building is completely protected by a fire suppression system and fire alarm system. The general coverage for detection and annunciation appeared typical and adequate for a building of this type and use.



Facilities Assessment

COMMUNITY ARTS CENTER



INTERIOR CONDITIONS / FINISHES / ACCESSIBILITY

The inner portion of the facility was built out inside a large steel structure. As such, there are areas like the administration area has its walls only extended above the ceiling. While this works for function, it may result in noise issues and concerns between offices and adjacent functions. This is something that may need to be addressed in the future by the District depending upon the administration operation.

Most of the operation within this facility is still being determined by the District. There are areas that are being used currently as storage that are transition for a specific function. The front entry was being renovated during the time of the inspection. Once the operation has been zeroed in more by the District, flow, function, and security should be studied and a plan implemented to aid the District on operation of the facility.

The restroom facilities are sized appropriately for the function of the space. The janitor closet required a backflow preventer on the chemical feed.

The stage is developed for performance. The sound system for this setup is housed in one of the exit stairways reducing exit width and egress capacity. This equipment should be relocated and placed in a more developed location.

The exit doors from the dance wing of the facility are located in the exterior walls and have a large jamb dimension. This exceeds the IAC and ADA code requirements. These areas should be looked at and remedied.



ANALYSIS OF COMMUNITY ARTS CENTER

The analysis of the facility focuses on 5 major points of concern:

1. Systems, equipment, and spaces / functions that the facility should have to comply with applicable building codes in effect when the building was constructed or last remodeled.
2. Space needs for the current building based upon current usage patterns and requirements.
3. Relationships/interaction & separation/isolation of spaces / departments recommendations.
4. Issues that do not comply with current building code and will be required to be compliant at the time of next major remodeling or addition to the facility.
5. Miscellaneous comments/issues including good practices.

Each item has also been evaluated on a life safety basis. Certain items should be completed sooner than others based upon the impact they have on the safety of the occupants, employees, or public.

(a) Urgent – items that present an immediate hazard to the safety of the occupants. These items should be typically corrected within a 1-2 year period.

(b) Required – items that are necessary for a safe environment but present less of an immediate hazard to the safety of the occupants. These items should be typically corrected within a 2-4 year period.

(c) Recommended – items that do not present any immediate hazard to the occupants. These items should be typically completed within a 4-10 year period if found to be pertinent to the District’s Strategic Plan.

This double classification approach is shown to provide a minimum amount of work required to get the current facilities safe for its occupants. It helps define each item according to operations and need. Ultimately it helps give the District a game-plan on addressing the facility.



Facilities Assessment

COMMUNITY ARTS CENTER

COMMUNITY ARTS CENTER Item / Issue	TYPE OF ITEM (1, 2, 3, 4, 5)	PRIORITY OF ITEM (a, b, c)	ESTIMATED IMPACT
1 Address Excessive Asphalt Cracking	5	b	
2 Replace and / or Resurface Pavement	5	c	
3 Review Parking Function and Possible Site Fencing	5	c	
4 Repair Window and Trim at Covered Parking	5	c	
5 Repair Shingle Roof Area	5	b	
6 Replace Shingle Roof Area	5	c	
7 Re-caulk Building Perimeter Envelope, Where Deteriorated	5	b	
8 Tuck-point Area of Damaged Masonry	5	b	
9 Address Damaged and Rusted Steel at Rear Entry	5	b	
10 Replace Large Louvre on Building North End	5	b	
11 Provide Landing and Ramp at Exterior Exit Doors on North Side	1	a	
12 Replace Mechanical Rooftop Units	5	b	
13 Upgrade Lighting Fixtures to LED	5	c	
14 Perform Routine Maintenance for All Panel-boards and Feeders	5	b	
15 Review Noise Concerns in Facility	5	c	
16 Provide Backflow Preventer at Chemical Feed	1	b	

COMMUNITY ARTS CENTER Item / Issue		TYPE OF ITEM (1, 2, 3, 4, 5)	PRIORITY OF ITEM (a, b, c)	ESTIMATED IMPACT
17	Relocate Stage Sound System	5	a	
18	Remedy Exit Doors in Dance Wing to Meet ADA and IAC	1	a	

Facilities Assessment

EMMERICH PARK



Facility Location: 150 Raupp Boulevard
Buffalo Grove, IL 60089

Emmerich Park was originally built in 1989. There was an addition and renovation that occurred in 2008. The facility houses some program space, but the majority of the building houses the District's maintenance and grounds department. This includes District offices for that department. The building is a mainly a single-story masonry structure. There is a partial basement in the maintenance bay used for storage, as well as two mezzanines that are used for storage and office space.

The facility is 20,060 sq.ft in size.

EXISTING SQUARE FOOTAGE

First Floor:	20,160 SF	Breakdown by Use:	
Basement:	1,560 SF	Administration:	1,300 SF
Mezzanine:	2,340 SF	Circulation:	1,333 SF
<i>TOTAL:</i>	<i>20,060 SF</i>	Facility Support:	422 SF
		Garage/Support:	12,250 SF
		Program Spaces:	3,050 SF
		Storage/Equipment:	4,255 SF
		Toilet Rooms:	1,450 SF



BASEMENT FLOOR PLAN

FIRST FLOOR PLAN

MEZZANINE FLOOR PLAN

Figure 25- Emmerich Park Floor Plans

Facilities Assessment

EMMERICH PARK



SITE AND PARKING

The facility is located in the southwest corner of Lake Cook Road and Raupp Boulevard, with access off of Raupp Boulevard. It is located across Raupp Boulevard from Emmerich East Park. The immediate grounds around the building are athletic fields and further bound by Buffalo Creek. There is parking provided at the south side of the facility that serves the program space, athletic fields, and maintenance staff parking. There is additional parking provided across Raupp Boulevard for Emmerich East Park, and athletic fields. Typically, there is not a conflict between operational staff parking and busy times for fields, but there can be occasional periods where the parking lot will be used to its limits. There is a separate drive entrance for the maintenance fleet vehicles that is isolated from the main parking lot. This access is limited and has conflict regarding ingress and egress. Most vehicle operation can be worked within the confines of the site, but occasional use during peak periods and use of trailers, large vehicles, or deliveries can cut off access for operations. The location of the facility limits potential expansion to improve

this condition, but it is recommended that the site use of the facility be studied to determine if improved site circulation and flow can be achieved.

The parking lot and pavement surface is in good condition. Regular maintenance should be completed to maintain and extend the life of the parking lot surface.

BUILDING ENVELOPE

The roof of the facility consists of a flat roof white EPDM membrane over the maintenance garage and a pitched asphalt shingle roof over the program function of the buildings. Both roofs are in good condition. With proper maintenance the roofs should be able to last an additional 20 years.

The exterior of the building is a split of masonry brick veneer and tongue and groove wood siding. The siding appears to have been painted within the past 5 years in attempt to salvage the material and protect the building. This material appears to be damaged quite a bit and should be considered to be replaced within the next 5 years to maintain a weatherproof envelope and protect the building structure.

The masonry generally appears to be in good condition. There are areas near the maintenance office portion of the building that have evidence of deterioration of mortar in the brick joints. This appears to be result of craftsmanship from initial install. These openings in the mortar should be addressed to maintain a weatherproof envelope. This area should be tuckpointed and properly finished. There is also evidence of some additional mortar deterioration at the corners of the buildings where old downspouts were located. This is most likely result of ice damming from the gutters and roof that have caused deterioration

in the mortar joints. It appears that the ice damming and roof drainage concern has been addressed, but the masonry should be cleaned up and tuckpointed to bring this back to a protected envelope. These areas should be further monitored to ensure that the issue has in fact been remedied.

There are some settling cracks evident off the window heads in the masonry at the maintenance office area. They are minor, but evident in the brick veneer mortar joints and the stone sills. These cracks do not appear to be a structural concern. These cracks should be remedied when the rest of the tuckpointing occurs and be monitored in the future to ensure that there is no future concern.



Facilities Assessment

EMMERICH PARK



BUILDING ENVELOPE CONTINUED

The control joints in the brick veneer shows evidence of old cracking caulk. These joints should have the old caulk removed and re-caulked around the entire building.

There was an issue in the past at the Athletic storage doors near the concessions with ice damming and water infiltration. This area is the lower flat roof that picks up the partial water from the high flat roof, the pitches roof, and the area of the lower flat roof itself. This all pitches to a single perimeter gutter and downspout. This gutter and downspout is undersized, and most likely resulted in the ice damming and backup. The damming entered the wall and caused lots of damage to the interior block and brick. This drainage condition needs to be improved, then the wall addressed and properly sealed.

There are various wasps nests around the perimeter of the facility that should be removed and addressed.



MECHANICAL / PLUMBING / ELECTRICAL SYSTEMS

The facility is split into furnace and rooftop unit systems. The units are older and near the end of their life. Most units can be expected to be replaced within the next 5 years. The District will benefit from the higher efficiencies of the newer units. All curbs for the units should be extended at the time of replacement to provide a minimum 12” curb to aid in roofing flashing and detailing preventing leaks and damage.

The lighting in the facility mainly consists of fluorescent lighting fixtures. There appears to be some locations in the facility that have been upgraded to LED during a renovation. The District may consider replacing the rest of the fixtures and upgrading to all LED in the future for energy costs and quality of lighting.

The electrical service of the facility appears to be original and in decent condition. Typical manufacturer recommended useful serviceable life for service boards and associated equipment is approximately 30 years in most installations. Recommend routine maintenance including lug torque check for all panelboards and feeders.

The building is completely protected by a fire suppression system and fire alarm system. The general coverage for detection and annunciation appeared typical and adequate for a building of this type and use. Storage spaces are missing fire alarm detection devices. These rooms must meet code and have these devices provided.



Facilities Assessment

EMMERICH PARK



INTERIOR CONDITIONS / FINISHES / ACCESSIBILITY

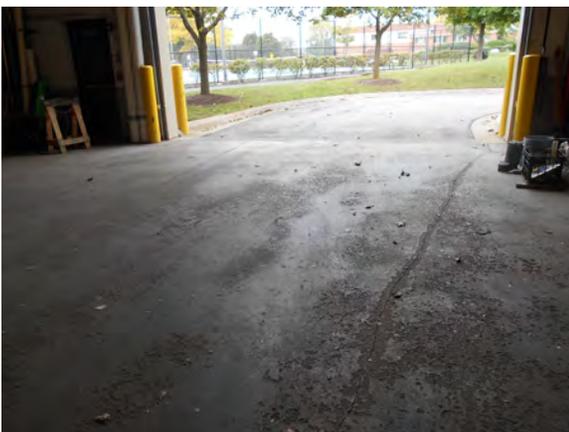
The garage space is used for general storage, parking, equipment storage, and maintenance. The majority of the large garage space only utilizes the ground for storage. Consideration should be taken into providing perimeter shelving for additional storage to maximize the height storage, which in turn will clean up and organize the daily operation of the space. The concrete floor is in fairly good condition with the exception of the north rear overhead door where excessive salt damage has occurred to the slab. This area should be monitored and if additional damage continues, replacement of the concrete slab should be considered or a grinding and resurfacing option. There is evidence of settling in the CMU masonry at various places in the facility that appear to be stable and not structural concern. These areas should be cut out and caulked to allow movement, while continuing to monitor in the future to ensure there is no further concern. Just like the exterior, all control joint caulking has deteriorated and should be cleaned up and re-caulked.

The garage space has a basement and storage mezzanine provided for storage. While this makes sense

from a practical sense, these functions do require accessible means of access, which would include an elevator or lift under the IAC and ADA code requirements. The basement does lend itself to a larger space that actually should have a second exit provided based upon the square foot size of the space. Minimally, the stair should be enclosed if an additional exit is not provided to minimally provide a fire safe enclosure access. Additional lighting needs to be provided for the basement stair which is well underlit for egress conditions.

The storage mezzanine requires a tow-kick provided at the access rail/ removable gates to prevent equipment from dropping off the mezzanine to meet OSHA requirements.

The second mezzanine that is provided houses the field staff offices and break room. While this makes sense from a practical



INTERIOR CONDITIONS / FINISHES / ACCESSIBILITY, cont.

sense, these functions do require accessible means of access, which would include an elevator or lift under the IAC and ADA code requirements. The size of both the field staff office and break room are extremely undersized for staff and operations.

Restroom facilities are provided off of the garage for the maintenance field staff and office staff. This facility only accommodates male gender with no female gender facilities provided in the operation. The area is undersized and does not provide any IAC and ADA stalls and clearances. The water heater for that operation is located in a small storage room that does not provide proper fresh air intake. The shower basin does not appear to be used much, but there is evidence of rust and mold. If utilized, this area should be re-built and repaired. If not used, the shower could be removed and give space back to restroom operation. The locker room is undersized for staff, and if utilized for changing, a separate female and male locker room should be provided.

The maintenance administration staff operates out of offices that have been converted based upon their current size. Some offices are undersized, but all offices do not provide enough storage to properly operate.

There is evidence of settling cracks in the CMU

masonry that is also reflected on the exterior brick veneer. These cracks do not appear to be structural, but should be cleaned up and re-caulked then monitored in the future for potential concern.

There is also some settling evident over the main entry door to the administration offices. This appears to be a result from the lintel being undersized for the width of the opening. This should be monitored, but opening up this wall and reinforcing the lintel should be considered as the lintel will most likely continue to sag and deflect.

The office area appears to have issues with condensation on its mechanical system. Evidence of rusting on the mechanical supply grilles shows that the system does not appear to be drying out the air enough and/or the ductwork is not insulated enough. The system might be undersized or cycling too quickly and not allowing the air to be dried out enough, resulting in the condensation evidence. The mechanical system should be reviewed, balanced, and adjusted to address this concern.



Facilities Assessment

EMMERICH PARK



INTERIOR CONDITIONS / FINISHES / ACCESSIBILITY CONTINUED

The main program dance room has a closet that houses the IT hub and network for the facility. This is accessible to occupants and should be separated and secured.

The renovated toilet rooms have air hand dryers that do not meet IAC and ADA code requirements and extend into the accessible route. A maximum 4” projection is only allowed. These units should be replaced with a unit that meet requirements.



The kitchen concession area is greatly undersized and does not meet IAC and ADA requirements. The step between the spaces is a tripping hazard and makes the kitchen inaccessible.

ANALYSIS OF EMMERICH PARK

The analysis of the facility focuses on 5 major points of concern:

1. Systems, equipment, and spaces / functions that the facility should have to comply with applicable building codes in effect when the building was constructed or last remodeled.

2. Space needs for the current building based upon current usage patterns and requirements.

3. Relationships/interaction & separation/isolation of spaces / departments recommendations.

4. Issues that do not comply with current building code and will be required to be compliant at the time of next major remodeling or addition to the facility.

5. Miscellaneous comments/issues including good practices.

Each item has also been evaluated on a life safety basis. Certain items should be completed sooner than others based upon the impact they have on the safety of the occupants, employees, or public.

(a) Urgent—items that present an immediate hazard to the safety of the occupants. These items should be typically corrected within a 1-2 year period.

(b) Required – items that are necessary for a safe environment but present less of an immediate hazard to the safety of the occupants. These items should be typically corrected within a 2-4 year period.

(c) Recommended – items that do not present any immediate hazard to the occupants. These items should be typically completed within a 4-10 year period if found to be pertinent to the District’s Strategic Plan.

This double classification approach is shown to provide a minimum amount of work required to get the current facilities safe for its occupants. It helps define each item according to operations and need. Ultimately it helps give the District a game-plan on addressing the facility.



Facilities Assessment

EMMERICH PARK

EMMERICH PARK Item / Issue	TYPE OF ITEM (1, 2, 3, 4, 5)	PRIORITY OF ITEM (a, b, c)	ESTIMATED IMPACT
1 Regular Asphalt / Concrete Paving / Drives Maintenance	5	b	
2 Regular Roof Maintenance	5	b	
3 Replace Wood Siding	5	a	
4 Repair / Tuck-point Mortar Near Maintenance Office	5	b	
5 Repair / Tuck-point Settling Cracks	5	b	
6 Remove and Re-caulk Masonry Control Joints	5	b	
7 Address Drainage Condition at Athletic Storage	5	a	
8 Address Wasp Nests around Building Perimeter	5	a	
9 Replace Furnace and Rooftop Unit Systems with Extended Curbs	5	c	
10 Upgrade Remainder of Light Fixtures to LED	5	c	
11 Perform Routine Maintenance for All Panel-boards and Feeders	5	b	
12 Install Missing Fire Alarm Detection Devices	1	a	
13 Provide Perimeter Shelving in Garage Area for Efficiencies	5	c	
14 Monitor / Repair Concrete Slab Area Damaged by Salt	5	c	
15 Address Areas of Masonry Settlement / Monitor as Required	5	a	
16 Remove and Re-caulk Interior Deteriorated Caulk	5	b	

EMMERICH PARK Item / Issue		TYPE OF ITEM (1, 2, 3, 4, 5)	PRIORITY OF ITEM (a, b, c)	ESTIMATED IMPACT
17	Provide Elevator or Lift to Basement and Mezzanine Areas	4	c	
18	Provide Secondary Exit in Basement	4	a	
19	Enclose Basement Stair for Fire Safety	1	a	
20	Provide Tow-Kick at Mezzanine Railing per OSHA Requirements	4	a	
21	Provide Separate Male and Female Restrooms	4	b	
22	Address Air Intake Requirements for Water Heater	4	b	
23	Provide Separate Male and Female Locker Rooms	4	b	
24	Address Storage Issues in Office Areas	5	c	
25	Clean-up and Re-Caulk Masonry Cracks / Monitor	5	b	
26	Monitor Main Entry Lintel / Reinforce Existing Lintel	1	b	
27	Review, Balance and Adjust Mechanical System in Office Area	1	b	
28	Secure IT and Network Equipment	2	b	
29	Replace Hand Dryers to Meet ADA and IAC	1	b	
30	Address Concession Size and Step Hazard	1	a	

Figure 26- Emmerich Park Assessment Table

Facilities Assessment

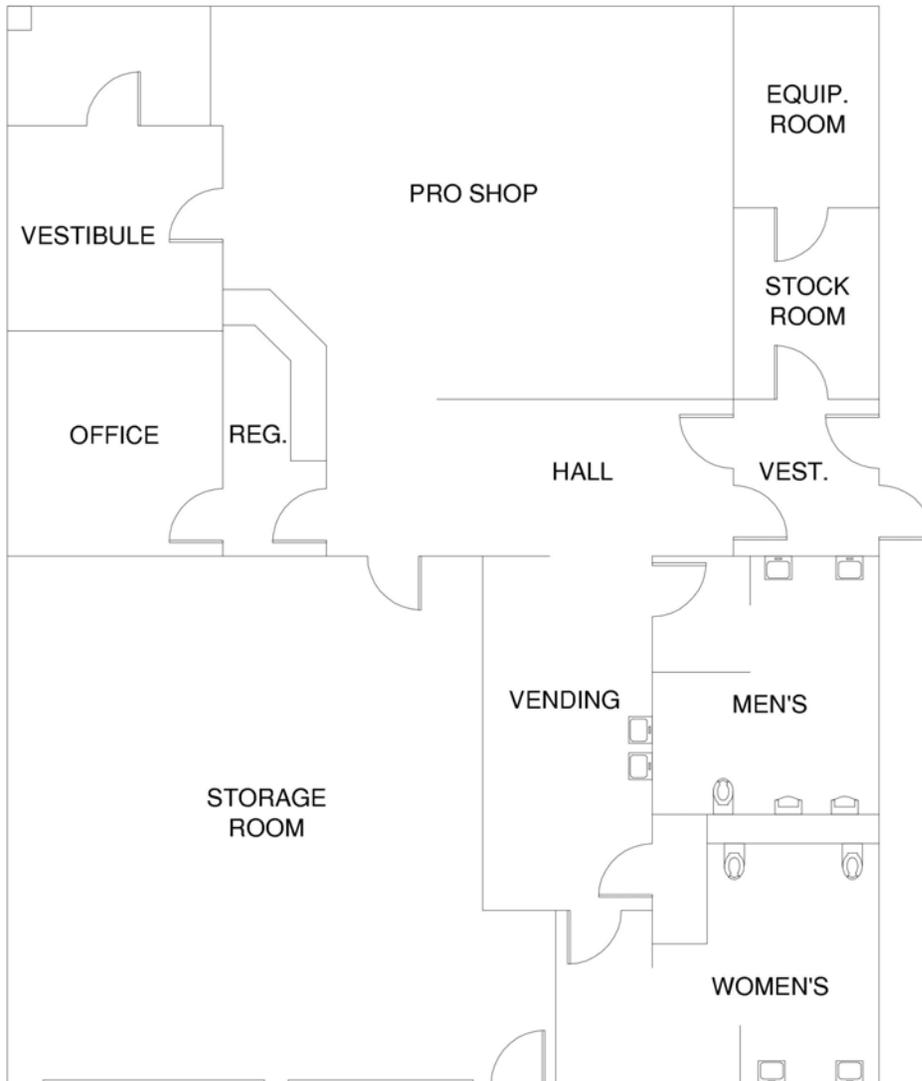
GOLF & SPORTS CENTER



Facility Location: 801 McHenry Road
Buffalo Grove, IL 60089

The Golf & Sports Center facility is the entry building to the positive air pressure practice structure. The facility was originally built in 1999. The facility has changed operation since its inception, which has eliminated the pro-shop sales and converted space into lounge space for its occupants and customers. The facility is mainly storage, restroom facilities, and registration operation. The storage garage was originally designed to house the positive air pressure structure when it was taken down each year. The size is greatly undersized for that use, but the District has not had to take down the air structure recently. If this trend continues, this space can be used for District storage and operation. The facility is a framed building with stone veneer and exterior insulation finish system (EIFS) exterior.

The facility is 2,852 sq.ft in size.



FIRST FLOOR PLAN

Figure 28- Golf & Sports Center Floor Plan

EXISTING SQUARE FOOTAGE

First Floor:	2,852 SF
<i>TOTAL:</i>	<i>2,852 SF</i>

Breakdown by Use:

Administration:	230 SF
Circulation:	405 SF
Public:	792 SF
Storage:	1000 SF
Toilet Rooms:	425 SF

Facilities Assessment

GOLF & SPORTS CENTER



SITE AND PARKING

The Golf & Sports Center is part of the Mike Rylko Community Park, located at the south end of the park. It is accessed off of McHenry Road, and is connected via parking lots to the District's Spray N' Play and the Fitness Center. The parking lot is used for this facility and the park use. Parking is well oversized for the operation of this facility. There is a drop off drive for patrons that are dropping off golf clubs. The access to the storage and operation of the building and positive air pressure structure is isolated and signed accordingly to keep out public access.



BUILDING ENVELOPE

The exterior of the building is mostly in good condition. The roof is a shake shingle that is probably in need of some maintenance. These shingles can last a long time, but it appears that there have been some issues with birds that have picked at the shingles. Upgrading and replacing the



Facilities Assessment

GOLF & SPORTS CENTER



MECHANICAL, PLUMBING, ELECTRICAL SYSTEMS

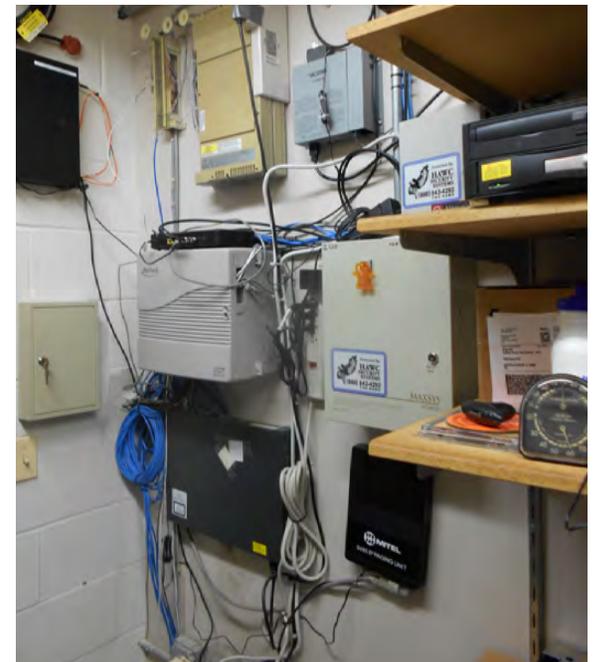
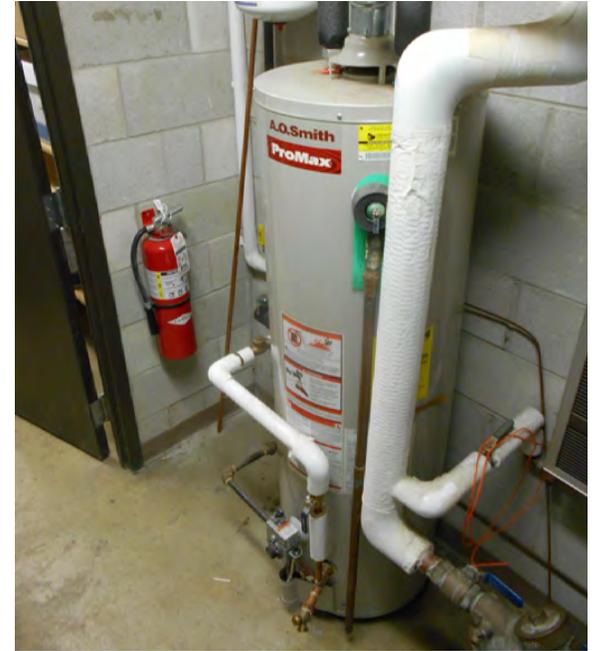
The mechanical system for the facility is original, but in good condition. This unit should serve the District another 10-15 years. The hot water heater appears newly replaced. All equipment is housed in the secure mechanical room.

The lighting in the facility mainly consists of fluorescent lighting fixtures. The District may consider replacing the fixtures and upgrading to all LED in the future for energy costs and quality of lighting.

The electrical service of the facility appears to be original and in decent condition. Typical manufacturer recommended useful serviceable life for service boards and associated equipment is approximately 30 years in most installations. Recommend routine maintenance including lug torque check for all panelboards and feeders.

The building is completely protected by a fire suppression system and fire alarm system. The general coverage for detection and annunciation appeared typical and adequate for a building of this type and use. A smoke detector needs to be installed in the mechanical room.





Facilities Assessment

GOLF & SPORTS CENTER



INTERIOR CONDITIONS / FINISHES / ACCESSIBILITY

The garage storage has become a catch all of storage for operations. Organization and purging of unnecessary equipment will clean this up and provide additional storage for District and building operation. There is no smoke detection provided in the garage.

The front vestibule appears to have some settling in the floor slab. This is evident in the floor base and the recessed floor mat. This does not appear to be structural, but it has created cracks and tweaked the floor mat into a potential tripping hazard. This should be addressed.

The registration desk does not meet IAC and ADA code requirements. The desk should be altered to accommodate this requirement. The program office is missing a visual fire alarm device.

The restrooms have mirrors that do not meet IAC and ADA code requirements regarding minimum height. The counter and mirrors would need to be altered to meet this requirement. The cove lighting over the plumbing fixtures in these rooms do not have any protection over the exposed

fluorescent lighting lamps, leaving them open to vandalism and risk potential. A protection cover should be provided. The drinking fountains near the restrooms stick out too far into the accessible route which is in conflict with IAC and ADA.

The janitors closet has holes in the ceiling near the exhaust fan and plumbing that poses a risk to the fire rating of the assembly. These openings should be sealed.

ANALYSIS OF GOLF & SPORTS CENTER

The analysis of the facility focuses on 5 major points of concern:

1. Systems, equipment, and spaces / functions that the facility should have to comply with applicable building codes in effect when the building was constructed or last remodeled.

2. Space needs for the current building based upon current usage patterns and requirements.

3. Relationships/interaction & separation/isolation of spaces / departments recommendations.

4. Issues that do not comply with current building code and will be required to be compliant at the time of next major remodeling or addition to the facility.

5. Miscellaneous comments/issues including good practices.

Each item has also been evaluated on a life safety basis. Certain items should be completed sooner than others based upon the impact they have on the safety of the occupants, employees, or public.

(a) Urgent—items that present an immediate hazard to the safety of the occupants. These items should be typically corrected within a 1-2 year period.

(b) Required – items that are necessary for a safe environment but present less of an immediate hazard to the safety of the occupants. These items should be typically corrected within a 2-4 year period.

(c) Recommended – items that do not present any immediate hazard to the occupants. These items should be typically completed within a 4-10 year period if found to be pertinent to the District’s Strategic Plan.

This double classification approach is shown to provide a minimum amount of work required to get the current facilities safe for its occupants. It helps define each item according to operations and need. Ultimately it helps give the District a game-plan on addressing the facility.



Facilities Assessment

GOLF & SPORTS CENTER

GOLF & SPORTS CENTER Item / Issue		TYPE OF ITEM (1, 2, 3, 4, 5)	PRIORITY OF ITEM (a, b, c)	ESTIMATED IMPACT
1	Roof Shingle Maintenance	5	a	
2	Upgrade / Replace Shingle Roof	5	c	
3	Remove and Re-Caulk EFIS Control Joints	5	a	
4	Repaint Facility after Re-Caulk	5	a	
5	Upgrade Existing Light Fixtures to LED Fixtures	5	c	
6	Perform Routine Maintenance for All Panel-boards and Feeders	5	a	
7	Install Missing Smoke Detectors	1	a	
8	Organize and Purge Storage to Maximize Efficiency	5	b	
9	Address Vestibule Floor Cracks and Tripping Hazard	5	a	
10	Install ADA and IAC Compliant Registration Desk	4	a	
11	Restroom ADA and IAC Revisions	4	a	
12	Restroom Cove Light Cover	5	a	
13	Address Drinking Fountain ADA and IAC Conflict	4	a	
14	Seal Ceiling Holes in Janitor's Closet	5	a	

Facilities Assessment

RAUPP MUSEUM



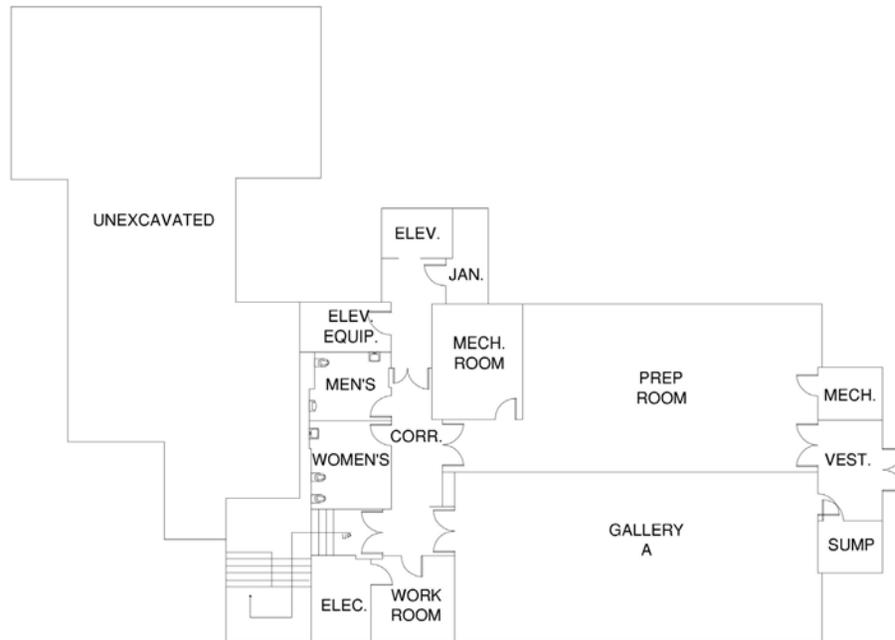
Facility Location: 901 Dunham Lane
Buffalo Grove, IL 60089

Raupp Museum was originally constructed in 1979. It was renovated in 2002. The facility is a framed construction with stone veneer and exterior insulated finish system (EIFS). The facility was originally a trailer unit that was placed on site and utilized for programs. The renovation added onto the space, made things more permanent, and operational. The facility houses archive storage, display, classroom education, and museum administration. The facility is 10,385 sq.ft. in size.

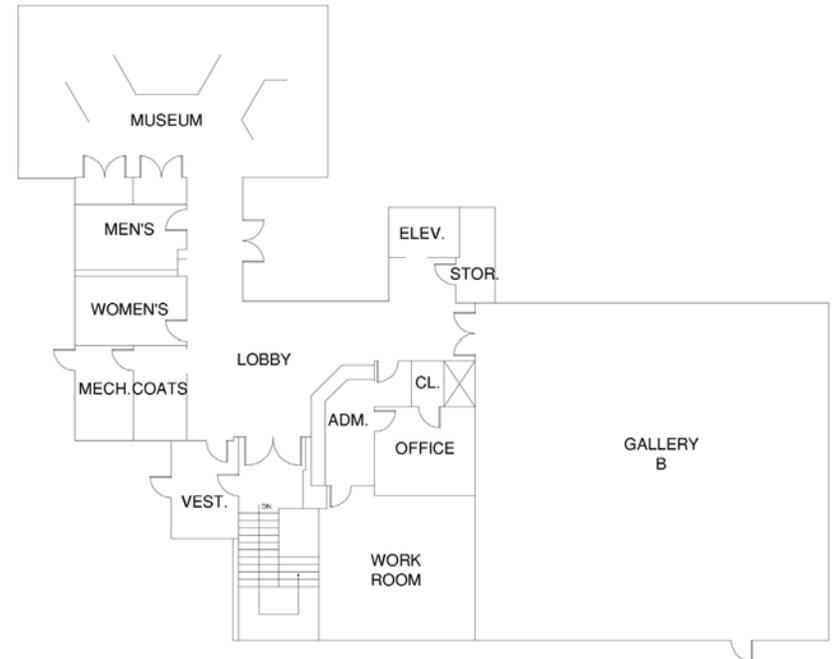
EXISTING SQUARE FOOTAGE

First Floor: 4,160 SF
 Second Floor: 6,22SF
 TOTAL: 10,385 SF

Breakdown by Use:
 Administration: 1,034 SF
 Circulation: 1,215 SF
 Lobby: 605 SF
 Museum/Gallery: 5,720 SF
 Storage/Equipment: 1,215 SF
 Toilet Rooms: 596 SF



LOWER LEVEL FLOOR PLAN



UPPER LEVEL FLOOR PLAN

Figure 30- Raupp Museum Floor Plans

Facilities Assessment

RAUPP MUSEUM



SITE AND PARKING

The Raupp Museum is located at Raupp Memorial Park, surrounded by residential. It is accessed off Dunham Lane. The facility is located in the side of a hill with a direct access from the lower level and the upper level. The main entry is located at the upper level. The parking lot is set back at the rear of the facility. It is sized appropriate for normal operation, but could be exceeded if a special program is occurring. The parking lot has some cracks in the main drive aisle near the top that should be addressed. The pavement should be sealed and maintained regularly to help prolong the life of the pavement. The pavement might need to be replaced or resurfaced in 5-10 years.



The access to the building is past the mechanical condensers and electrical transformer. The entrance to the facility could be improved to give better appeal and entrance strength.

The secondary exit from the upper level gallery opens to an exterior stoop. This requires a walk to a public way for emergency exiting.

BUILDING ENVELOPE

The roof on the addition has newer shingles and is in good condition. The roof over the original building is original and should be replaced. All exhaust curbs should be replaced and extended in height to properly flash all penetrations.

The gutters are susceptible to leaves and should be cleaned out regularly to keep water flow off the roof. They should especially be cleaned prior to winter months to prevent ice damming.

The exterior of the building is good condition and appears to have been recently painted.



Facilities Assessment

RAUPP MUSEUM



MECHANICAL, PLUMBING, ELECTRICAL SYSTEMS

The upper level furnaces are older and probably near the end of their life. Plan on replacing these within the next 5 years. The lower level furnaces are newer and appear to be in good condition.

The lighting in the facility mainly consists of fluorescent lighting fixtures. The District may consider replacing the fixtures and upgrading to all LED in the future for energy costs and quality of lighting.



The electrical service of the facility appears to be original and in decent condition. Typical manufacturer recommended useful serviceable life for service boards and associated equipment is approximately 30 years in most installations. Recommend routine maintenance including lug torque check for all panelboards and feeders.

The building is not protected by a fire suppression system but does have a fire alarm system. The general coverage for detection and annunciation appeared typical and adequate for a building of this type and use. A smoke detector needs to be installed in the lower level sump pit room.



Facilities Assessment

RAUPP MUSEUM



INTERIOR CONDITIONS / FINISHES / ACCESSIBILITY

The main restrooms on the upper level are missing emergency light fixtures. They are also missing the required push/ pull clearances on the doors required by the IAC and ADA code requirements. The rooms provide an alternate handicap toilet configuration. Outside those rooms, the AED unit sticks out too far off the wall and into the accessible route. Items can only extend a maximum of 4". The drinking fountain at this location should be a hi-lo configuration to meet the IAC and ADA code requirements.



The office has no fire alarm visual device provided.

There are several doors that don't have the required push/pull clearances required by the IAC and ADA code requirements. Doors to the elevator equipment room, electrical/ telephone room, and mechanical room off of the archive room do not meet code requirements.

ANALYSIS OF RAUPP MUSEUM

The analysis of the facility focuses on 5 major points of concern:

1. Systems, equipment, and spaces / functions that the facility should have to comply with applicable building codes in effect when the building was constructed or last remodeled.

2. Space needs for the current building based upon current usage patterns and requirements.

3. Relationships/interaction & separation/isolation of spaces / departments recommendations.

4. Issues that do not comply with current building code and will be required to be compliant at the time of next major remodeling or addition to the facility.

5. Miscellaneous comments/issues including good practices.

Each item has also been evaluated on a life safety basis. Certain items should be completed sooner than others based upon the impact they have on the safety of the occupants, employees, or public.

(a) Urgent—items that present an immediate hazard to the safety of the occupants. These items should be typically corrected within a 1-2 year period.

(b) Required – items that are necessary for a safe environment but present less of an immediate hazard to the safety of the occupants. These items should be typically corrected within a 2-4 year period.

(c) Recommended – items that do not present any immediate hazard to the occupants. These items should be typically completed within a 4-10 year period if found to be pertinent to the District’s Strategic Plan.

This double classification approach is shown to provide a minimum amount of work required to get the current facilities safe for its occupants. It helps define each item according to operations and need. Ultimately it helps give the District a game-plan on addressing the facility.



Facilities Assessment

RAUPP MUSEUM Item / Issue		TYPE OF ITEM (1, 2, 3, 4, 5)	PRIORITY OF ITEM (a, b, c)	ESTIMATED IMPACT
1	Regular Asphalt / Concrete Paving / Drives Maintenance	5	b	
2	Address Excessive Asphalt Cracking	5	b	
3	Replace and / or Resurface Pavement	5	c	
4	Improve Site Access	5	c	
5	Provide Sidewalk Connection to Secondary Access for Egress	1	a	
6	Replace Roof on Original Building	5	b	
7	Replace All Roof Exhaust Curbs and Extend Heights	5	b	
8	Clean Gutters Regularly to Prevent Ice Damming	5	b	
9	Replace Upper Level Furnaces	5	c	
10	Upgrade Lighting to LED	5	c	
11	Perform Routine Maintenance for All Panel-boards and Feeders	5	b	
12	Install Fire Suppression System	5	b	
13	Install Missing Smoke Detectors	1	a	
14	Install Missing Emergency Light Fixtures	1	a	
15	Address Door Clearance Requirements to meet ADA and IAC	1	b	
16	Address AED not in Compliance with ADA and IAC Clearances	1	b	

RAUPP MUSEUM Item / Issue		TYPE OF ITEM (1, 2, 3, 4, 5)	PRIORITY OF ITEM (a, b, c)	ESTIMATED IMPACT
17	Address Drinking Fountain not in Compliance with ADA and IAC	1	b	
18	Install Missing Fire Alarm Devices	1	a	

Figure 31- Raupp Museum Assessment Table

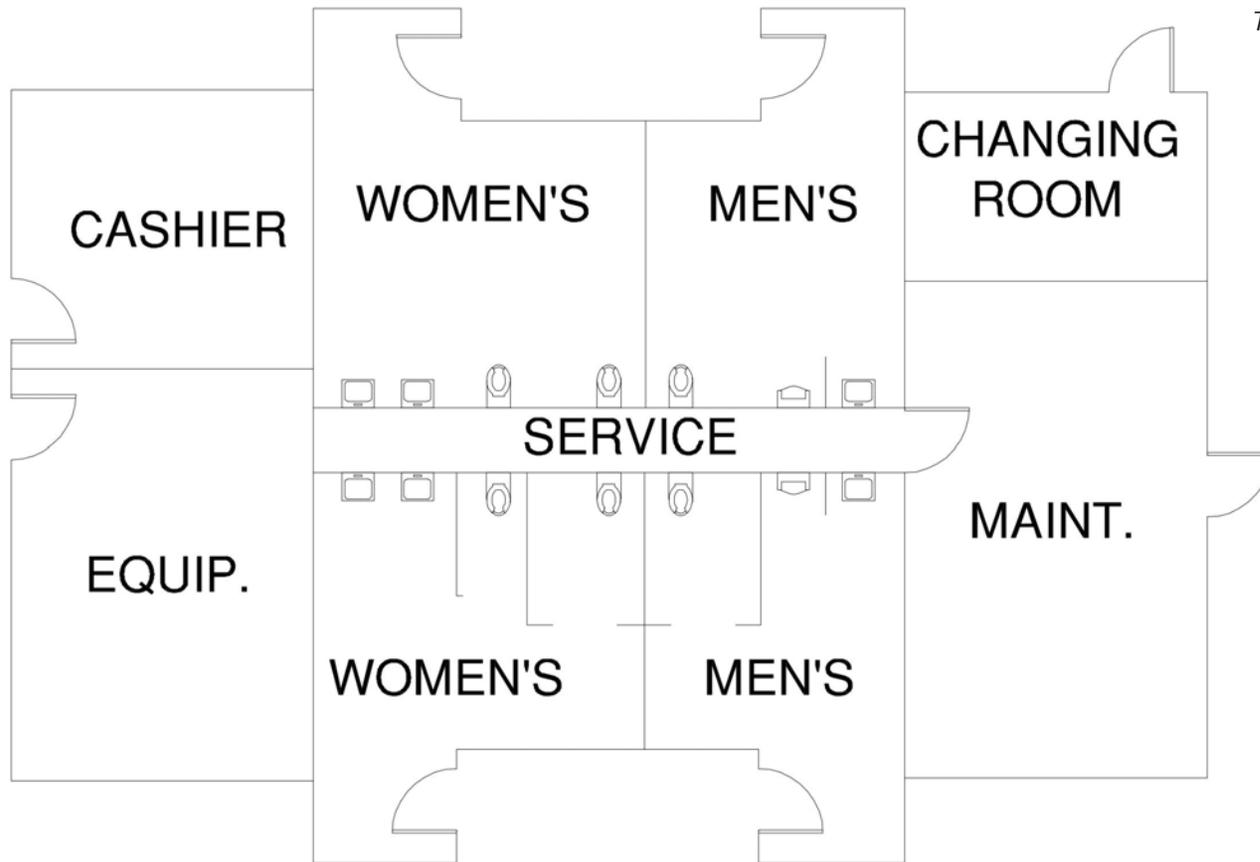
Facilities Assessment

SPRAY N' PLAY



Facility Location: 951 McHenry Road
Buffalo Grove, IL 60089

The Spray N' Play was constructed in 2004. The facility is a brick and block structure with a framed pitched roof structure. The facility is mainly restrooms for the sprayground and public restrooms. It houses a concession / ticket office, and a mechanical room for the sprayground equipment. There is a storage room provided for the District to serve the immediate park and grounds. The facility is 1,848 sq.ft in size.



EXISTING SQUARE FOOTAGE

Pool House:	1,848 SF
<i>TOTAL:</i>	<i>1,848 SF</i>

Breakdown by Use:

Changing Room:	124 SF
Facility Support:	185 SF
Men's Facilities:	389 SF
Storage/Equipment:	675 SF
Women's Facilities:	475 SF

Facilities Assessment

SPRAY N' PLAY



SITE AND PARKING

The Spray N' Play is part of the Mike Rylko Community Park, located centrally in the park. It is accessed off McHenry Road, and is connected via parking lots to the District's Golf & Sports Dome, as well as the Fitness Center. The parking lot is used for this facility and the park use. Parking is well oversized for the operation of this facility.

The parking lot is generally in good condition. Standard maintenance should be completed on a regular basis to prolong the life of the pavement.

The main entry has a sidewalk and pavers installed that is experiencing some settling. This is most likely due to its sub-base installation. This is a tripping hazard and does not meet IAC and ADA code requirements. This area should be removed and re-installed within the allowable tolerance, to meet requirements.

The gate latch to the sprayground does not meet IDPH or IAC / ADA code requirements.



Facilities Assessment

SPRAY N' PLAY



BUILDING ENVELOPE

The roof of the facility is metal and generally is in good condition. The front face of the building has its snow gems removed and a snow rail system installed. The rear still has some of the snow gems installed. The areas where the gems have fallen off have rusted the metal roofing panels. This should be cleaned up and determined if this is a result of the adhesive and if there is in fact damage to the panels or not. If damage is evident, clean and refinish those areas to protect the life of the panels.

The exterior of the building is split-face CMU masonry. There are areas that have concern around the building. The header at the front and rear entrances to the restrooms appear to have undersized lintels which has resulted in cracks in the masonry. It is limited to the first two courses of block above the lintel most likely as a result of a continuous bond beam around the building. The cracks will continue to deteriorate and deflect the lintel if not addressed. These openings should be addressed and fixed. There was some masonry tuckpointing on the East end of the building near the peak. It is unclear why or what this was done for. If this was due to cracking or settling, this is an area that should be continued to be monitored.

There are areas in the northwest and northeast corners that appears to be in shade most of the day, which has resulted in mildew on the pavement and block wall. This is an area that should be treated to prevent growth since it will most likely be a continued condition. This is a result of the roof draining directly to the ground with no gutter / downspout system. The result is moisture splashing up onto the masonry, keeping it moist and damp in those areas longer than necessary. A similar condition occurs on the southwest end of the building.



AQUATIC SYSTEMS

The sprayground deck appears to be in good condition. The aquatic system appears to be in decent condition.

MECHANICAL, PLUMBING, ELECTRICAL SYSTEMS

The building is a warm weather building, and is typically shutdown during cold months. A small heater is installed in the plumbing chase to provide ambient heat for any residual water in the lines. At the time of the inspection, a sink in the womens restroom of the sprayground was continually running and needed to be serviced or replaced.

The lighting in the restrooms is very minimal. While it is not a habitable space, it can be difficult to see when coming in from the contrast of outside at the sprayground. Additional lighting or increased light levels should be considered.

The lighting in the facility mainly consists of fluorescent lighting fixtures. The District may consider replacing the fixtures and upgrading to all LED in the future for energy costs and quality of lighting.

The electrical service of the facility appears to be original and in decent condition. Typical manufacturer recommended useful serviceable life for service boards and associated equipment

is approximately 30 years in most installations. Recommend routine maintenance including lug torque check for all panelboards and feeders.

The building is not protected by a fire suppression system or a fire alarm system. The addition of a fire alarm system should be considered since it is open to the public. Smoke detectors should be installed in the ticket office, equipment room, and storage room.



Facilities Assessment

SPRAY N' PLAY



INTERIOR CONDITIONS / FINISHES / ACCESSIBILITY

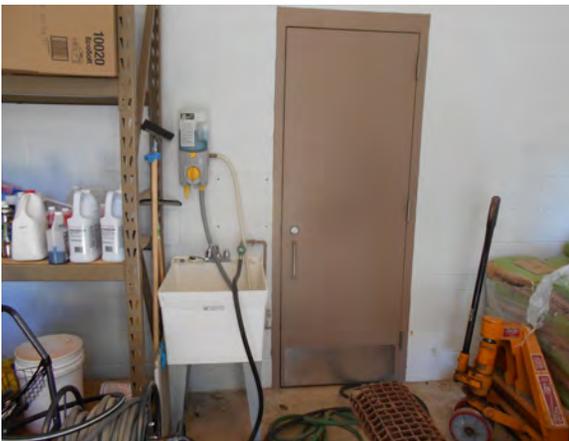
There are cracks in the walls and head of the CMU masonry in the sprayground mens restroom near the entry. This is a result of the exterior header and other settling. It does not appear to be structural, but should still be repaired and monitored in the future.

In the storage room, the access to the plumbing chase is very minimal and does not provide proper clearance on the pull side of the door. At the time of the inspection it was winter season, and most of the spaces were full of exterior elements stored for winter.

The air hand dryers in the restrooms do not meet the IAC and ADA code requirements. They project more than 4" into the accessible route. These units should be replaced with a unit that meets code requirements.

The main discharge for the building is via an open-site drain on the south face of the building. It is understood that the building is a warm weather structure and the water should not be active in the winter, but there is a chance of freezing if water does discharge in the off

season. Review with the authority having jurisdiction and confirm if this connection can be changed to be underground to prevent potential for freezing in the future.



ANALYSIS OF SPRAY N' PLAY

The analysis of the facility focuses on 5 major points of concern:

1. Systems, equipment, and spaces / functions that the facility should have to comply with applicable building codes in effect when the building was constructed or last remodeled.

2. Space needs for the current building based upon current usage patterns and requirements.

3. Relationships/interaction & separation/isolation of spaces / departments recommendations.

4. Issues that do not comply with current building code and will be required to be compliant at the time of next major remodeling or addition to the facility.

5. Miscellaneous comments/issues including good practices.

Each item has also been evaluated on a life safety basis. Certain items should be completed sooner than others based upon the impact they have on the safety of the occupants, employees, or public.

(a) Urgent—items that present an immediate hazard to the safety of the occupants. These items should be typically corrected within a 1-2 year period.

(b) Required – items that are necessary for a safe environment but present less of an immediate hazard to the safety of the occupants. These items should be typically corrected within a 2-4 year period.

(c) Recommended – items that do not present any immediate hazard to the occupants. These items should be typically completed within a 4-10 year period if found to be pertinent to the District's Strategic Plan.

This double classification approach is shown to provide a minimum amount of work required to get the current facilities safe for its occupants. It helps define each item according to operations and need. Ultimately it helps give the District a game-plan on addressing the facility.



Facilities Assessment

SPRAY N' PLAY

SPRAY N' PLAY Item / Issue	TYPE OF ITEM (1, 2, 3, 4, 5)	PRIORITY OF ITEM (a, b, c)	ESTIMATED IMPACT
1 Regular Asphalt / Concrete Paving / Drives Maintenance	5	b	
2 Address Sidewalk / Paver Settling	5	a	
3 Address Rusted Metal Roof Panels	5	b	
4 Address Header at Entrances, Reinforce Lintels	1	a	
5 Treat Mildew on Facade	5	b	
6 Address Spray Ground Latch to meet ADA and IAC	1	a	
7 Service or Replace Running Sink in Womens Restroom	5	b	
8 Address Lighting Levels in Restrooms	1	a	
9 Upgrade Lighting Fixtures to LED	5	b	
10 Perform Routine Maintenance for All Panel-boards and Feeders	5	b	
11 Install Fire Suppression and Fire Alarm Systems	5	b	
12 Repair Masonry Wall Cracks	5	b	
13 Address Door Clearance Access in Storage	1	a	
14 Provide ADA and IAC Compliant Hand Dryers	1	a	
15 Review and Address Building Discharge Connection	5	b	

Figure 33- Spray N' Play Assessment Table

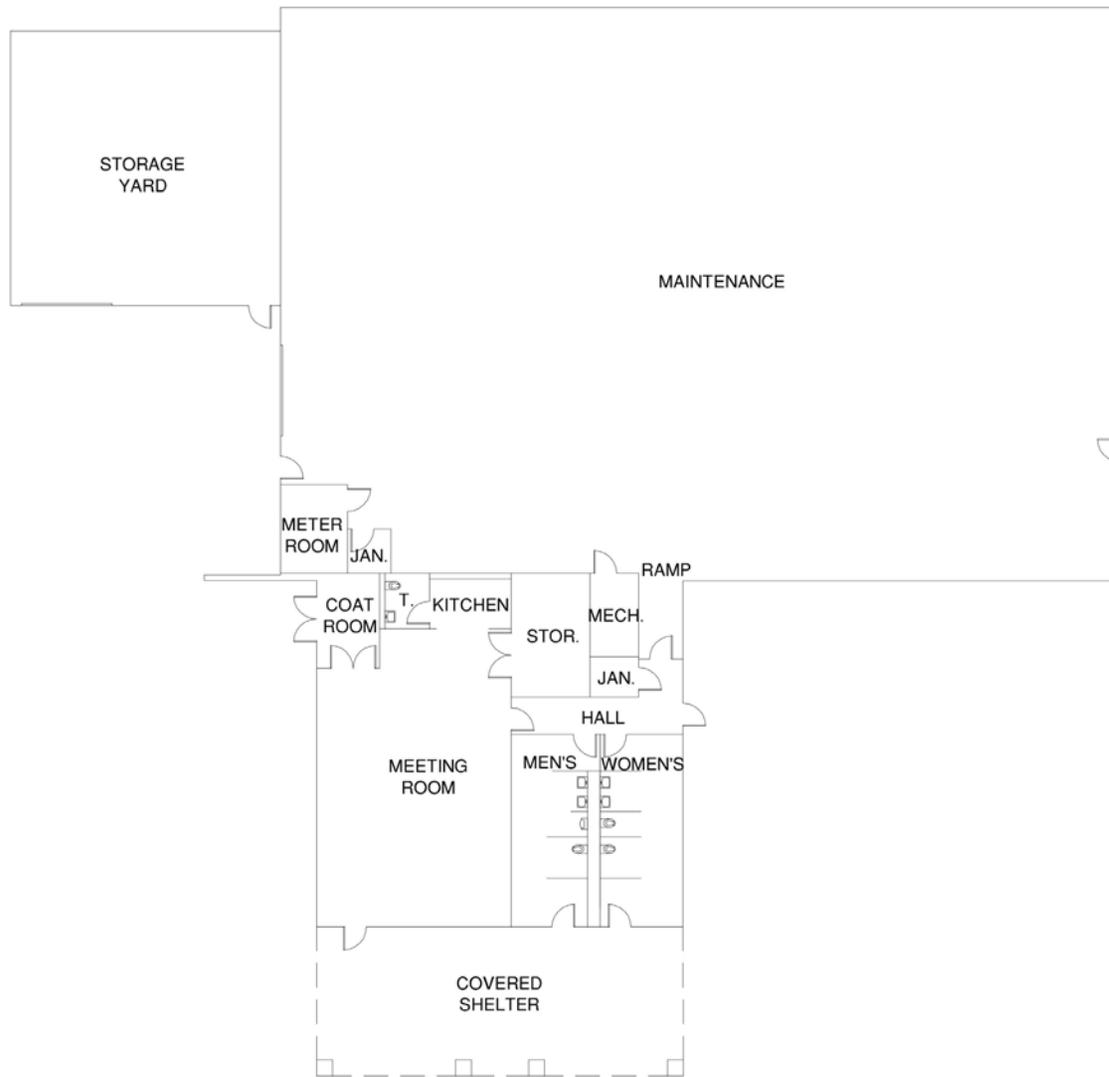
Facilities Assessment

TWIN CREEKS PARK



Facility Location: 401 Aptakisic Road
Buffalo Grove, IL 60089

Twin Creeks Park was built in 2007. The facility is mainly a maintenance facility for the District. There is a community meeting room that also serves as a classroom for safety town. Restroom facilities serve the occupants and can be open to the public for restroom facilities in the park. The facility is a pre-engineered structure with a split-face masonry and concrete siding veneer. The facility is 11,780 sq.ft. in size.



EXISTING SQUARE FOOTAGE

Pool House:	11,780 SF
<i>TOTAL:</i>	<i>11,780 SF</i>

Breakdown by Use:

Administration:	1,035 SF
Circulation:	208 SF
Maintenance:	9,400 SF
Storage/Equipment:	520 SF
Toilet Rooms:	617 SF

Facilities Assessment

TWIN CREEKS PARK



SITE AND PARKING

Twin Creeks Park facility is in the northeast corner of Twin Creeks Park, located at Aptakisic Road and North Buffalo Grove Road. It is accessed off Aptakisic Road. The use of the facility and its operation makes access congested at times. A circle drop off is provided for patrons, but it is also used by staff accessing the maintenance garage. Parking is provided for the facility and the park, which is more than acceptable for the facility. The access to the maintenance garage requires immediate turning, which has resulted in damage to the pavement and showing large cracks.



The base in the pavement is undersized. The area should be replaced with the possibility of replacing it with concrete to prevent further damage based upon operation. There is examples of areas in the pavement that have been replaced recently that look like result of pavement damage. This could be due to bad base when installed or potential for leaks in the structures. Further investigation should be completed so that a proper remedy can be implemented.

BUILDING ENVELOPE

The roof is typically in good condition. The valley's on the roof were done incorrectly and are completely susceptible to water damage and potential ice damming. All valleys should be opened up and redone to a water tight condition per manufacturer standards. There are several areas where the gutters are pitched incorrectly, run too long, or have undersized downspouts. This is clearly evident at the playground area. The gutter at the main entry has evidence of being undersized as well. Gutters should be replaced, re-pitched, and additional downspouts provided to properly drain the roof.

The exterior of the building is mainly in good condition. The control joints around the entire building have evidence of the caulking deteriorated. All caulking should be removed and re-caulked to maintain a weather-tight envelope.

The exit door from the hall o the playground area has a large stoop that makes this door inaccessible and does allow for proper exit path from the building. A ramp should be provided at this location.

Some soffit panels over the covered shelter have separated and are open to pests. These panels should be repaired and closed up to prevent damage.

At the main window at the meeting room has evidence of settling. It appears that the lintel is undersized and the foundation settled. The lintel should be investigated, repaired, and reinforced. The steeling should be addressed and monitored in the future.



Facilities Assessment

TWIN CREEKS PARK



BUILDING ENVELOPE CONTINUED

The outdoor storage yard is not used to its potential. The space is being used for general storage, but is not efficient. The birds use of the canopy makes it impossible to use the underside without subjecting it to bird excrement. A more permanent pest control measure should be implemented. The block wall at the gate is plain block that is not treated with moisture additive. The wall is susceptible to moisture and has evidence of damage. This surface should be sprayed or painted to give a protective barrier to the wall and save the envelope.

There is a gate around the safety town that does not meet IAC and ADA standard. It was cabled closed, which does not allow for an emergency exit condition.



Facilities Assessment

TWIN CREEKS PARK



MECHANICAL, PLUMBING, ELECTRICAL SYSTEMS

The mechanical and electrical system is original. The units are in decent condition. Units should be considered to be replaced in the next 5-10 years.

The lighting in the facility mainly consists of fluorescent lighting fixtures. The District may consider replacing the fixtures and upgrading to all LED in the future for energy costs and quality of lighting.

The electrical service of the facility appears to be original and in decent condition. Typical manufacturer recommended useful serviceable life for service boards and associated equipment is approximately 30 years in most installations. Recommend routine maintenance including lug torque check for all panelboards and feeders.

The building is completely protected by a fire suppression system and fire alarm system. The general coverage for detection and annunciation appeared typical and adequate for a building of this type and use.



INTERIOR CONDITIONS / FINISHES / ACCESSIBILITY

The maintenance garage is unfinished at the top of the wall, and has the vapor barrier and insulation exposed. Several locations have the vapor barrier pulled back and not sealed. The conditions are not allowed per the flame-spread and should be sealed off. This will also help operation with air leakage and energy savings. The maintenance garage has doors that exit inward and they should be exiting outward for egress purposes. Both doors and frames should be replaced and reversed. The access to the secondary rear entrance needs to be kept clear for exiting purposes. The floor of the maintenance garage is in good condition.



Facilities Assessment

TWIN CREEKS PARK



INTERIOR CONDITIONS / FINISHES / ACCESSIBILITY CONTINUED

The ramp access to the rest of the building from the garage is choked down by the structure. This does not meet IAC and ADA code requirements and creates a potential tripping hazard. The access to the mechanical room where the furnace is a raised step. This is not accessible and does not meet IAC and ADA code requirements.

The janitors closet does not have a backflow preventer on the chemical feed for the janitor cleaning supply system. There is also no direct vent for the hot water heater in this room.

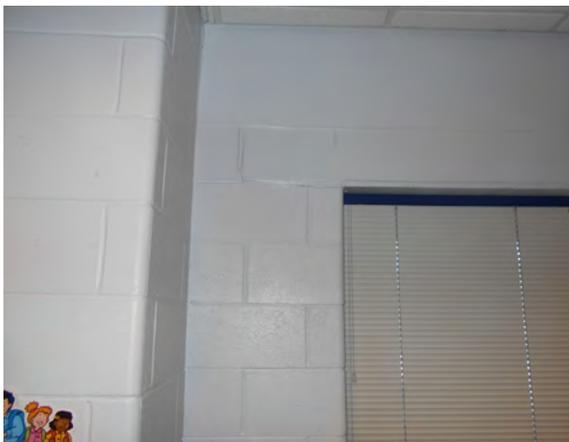
The restrooms have the exhaust fan directly mounted to the structure which makes occupancy in the space unacceptable to the noise level. The fan should be isolated from the structure, potentially mounted higher in the space to further reduce noise levels.

There are cracks in the masonry in the classroom near the window, which is evident from the exterior. This is a result of settling and potentially the lintel being

undersized. There are also cracks in the masonry near the entry door from the exterior. This is also a settling crack. It should be repaired and monitored.

The toilet room provided off of the classroom is undersized and does not allow proper turning radius for ADA use. The sink is also mounted too close to the wall to meet IAC and ADA code requirements.

The drinking fountain at the covered shelter has a drinking fountain that sticks out too far and does not meet IAC and ADA code requirements by sticking out into the accessible route.



ANALYSIS OF TWIN CREEKS PARK

The analysis of the facility focuses on 5 major points of concern:

1. Systems, equipment, and spaces / functions that the facility should have to comply with applicable building codes in effect when the building was constructed or last remodeled.
2. Space needs for the current building based upon current usage patterns and requirements.
3. Relationships/interaction & separation/isolation of spaces / departments recommendations.
4. Issues that do not comply with current building code and will be required to be compliant at the time of next major remodeling or addition to the facility.
5. Miscellaneous comments/issues including good practices.

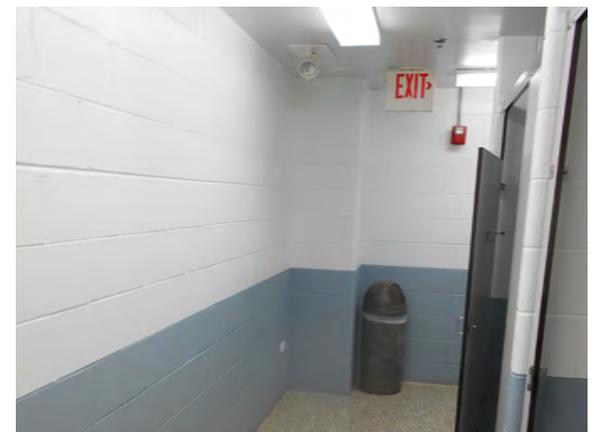
Each item has also been evaluated on a life safety basis. Certain items should be completed sooner than others based upon the impact they have on the safety of the occupants, employees, or public.

(a) Urgent—items that present an immediate hazard to the safety of the occupants. These items should be typically corrected within a 1-2 year period.

(b) Required – items that are necessary for a safe environment but present less of an immediate hazard to the safety of the occupants. These items should be typically corrected within a 2-4 year period.

(c) Recommended – items that do not present any immediate hazard to the occupants. These items should be typically completed within a 4-10 year period if found to be pertinent to the District’s Strategic Plan.

This double classification approach is shown to provide a minimum amount of work required to get the current facilities safe for its occupants. It helps define each item according to operations and need. Ultimately it helps give the District a game-plan on addressing the facility.



Facilities Assessment

TWIN CREEKS PARK

TWIN CREEKS PARK Item / Issue		TYPE OF ITEM (1, 2, 3, 4, 5)	PRIORITY OF ITEM (a, b, c)	ESTIMATED IMPACT
1	Replace Maintenance Garage Access Pavement	5	b	
2	Replace Roof Valleys	5	b	
3	Replace and Re-Pitch Roof Gutters, Provide Additional Downspouts	5	b	
4	Remove and Re-Caulk Building Control Joints	5	b	
5	Install Ramp at Playground Exit Door	1	a	
6	Repair and Close Open Soffit Panels	5	b	
7	Investigate, Repair and Reinforce Meeting Room Lintel	1	a	
8	Address Pest Control Issues	5	c	
9	Install Protective Barrier to Storage Yard Wall	1	b	
10	Provide ADA and IAC Compliant Gate Around Safety Town	1	a	
11	Replace Mechanical and Electrical Systems	5	c	
12	Upgrade Lighting Fixtures to LED	5	c	
13	Perform Routine Maintenance for All Panel-boards and Feeders	5	b	
14	Seal Areas where Vapor Barrier and Insulation Are Exposed	1	a	
15	Modify Garage Exit Doors that Swing in Incorrect Direction	1	a	
16	Redesign Access Ramp in Garage to Comply with ADA and IAC	1	a	

TWIN CREEKS PARK Item / Issue		TYPE OF ITEM (1, 2, 3, 4, 5)	PRIORITY OF ITEM (a, b, c)	ESTIMATED IMPACT
17	Install Back-flow Preventer on Chemical Feed in Janitor's Closet	1	b	
18	Provide Direct Vent for Water Heater in Janitor's Closet	1	b	
19	Isolate Exhaust Fans in Restrooms to Control Noise	1	b	
20	Repair Interior Masonry Cracks Caused by Undersized Lintel	1	b	
21	Address ADA and IAC Issues in Toilet Room by Classroom	1	b	
22	Address ADA and IAC Issues for Drinking Fountain at Covered Shelter	1	b	

Figure 35- Twin Creeks Park Assessment Table

Facilities Assessment

WILLOW STREAM POOL



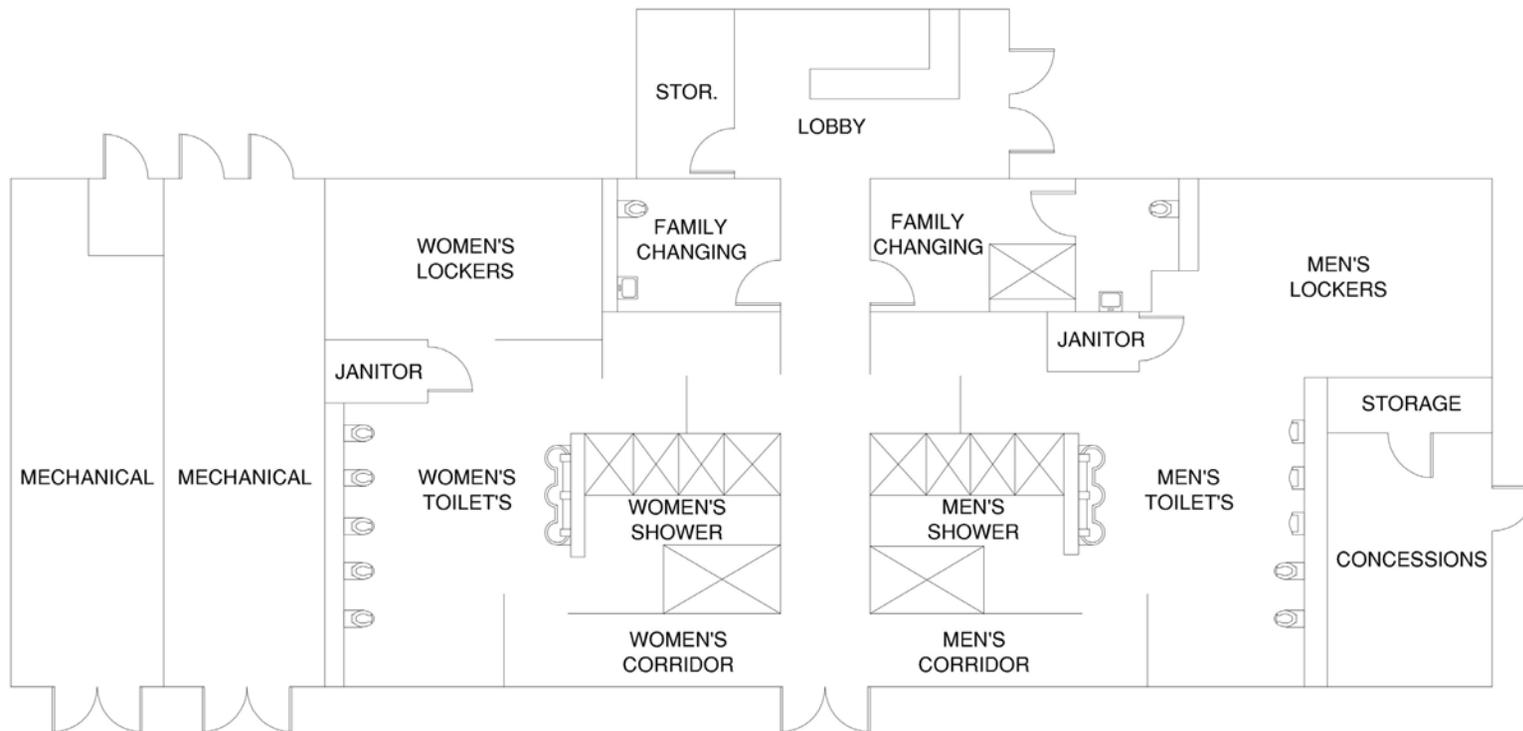
Facility Location: 600 Farrington Drive
Buffalo Grove, IL 60089

Willow Stream Pool was originally built in 1971. A renovation and expansion of the pool facility occurred in 2011. The facility is a brick and block structure with a framed pitched roof structure. The facility is mainly restrooms for the pool. It houses a concession office and mechanical rooms for the pool and wading pool equipment.

The facility is 2,945 sq.ft in size.

EXISTING SQUARE FOOTAGE

Pool House:	2,945 SF	Breakdown by Use:	
<i>TOTAL:</i>	<i>2,945 SF</i>	Circulation:	415 SF
		Facility Support:	365 SF
		Family Facilities:	290 SF
		Men's Facilities:	975 SF
		Women's Facilities:	900 SF



FIRST FLOOR PLAN

Figure 36- Willow Stream Pool Floor Plan

Facilities Assessment

WILLOW STREAM POOL



SITE AND PARKING

Willow Stream Pool is the northern end of Willow Stream Park. It is accessed off Farrington Drive. The park is surrounded by residential. There is a large amount of parking provided for the pool and the park. A drop off drive is provided to allow patrons to drop off kids and exit the parking lot accordingly.

The parking lot is generally in good condition. Standard maintenance should be completed on a regular basis to prolong the life of the pavement. There are some cracks in the pavement outside the main entrance. These cracks should be addressed sooner than later.



BUILDING ENVELOPE

The roof appears to be in decent condition. There are areas near the edge that have the shingles raised. This is a result of install, but could pose problems in the future. The edges should be looked at further and addressed.

The exterior of the building is in good condition.

The drinking fountain and bottle filler on the lifeguard building does not meet IAC and ADA code requirements and should be replaced to meet requirements



Facilities Assessment

WILLOW STREAM POOL



AQUATIC SYSTEMS

The pool deck, liner, and equipment are in good condition. The slide was recently re-painted. The railing up to the slide should be re-painted due to wear down by use.

The gate latch to the wading pool does not meet IDPH or IAC/ ADA code requirements and should be replaced.



MECHANICAL, PLUMBING, ELECTRICAL SYSTEMS

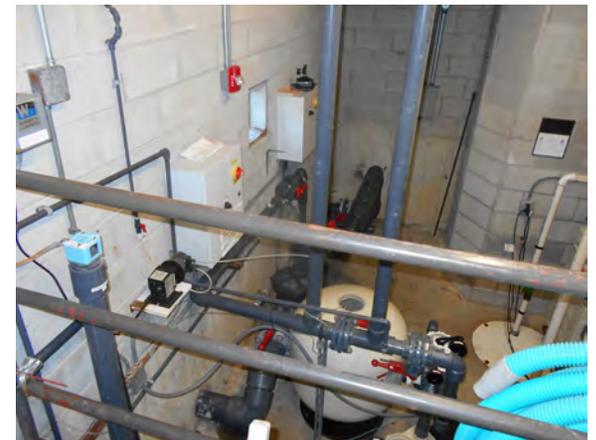
The mechanical system for the facility is in decent shape. The exhaust fans for the restrooms appear to be original, and may need to be replaced soon.

The lighting in the restrooms is very minimal. While it is not a habitable space, it can be difficult to see when coming in from the contrast of outside at the pool. Additional lighting or increased light levels should be considered.

The lighting in the facility mainly consists of fluorescent lighting fixtures. The District may consider replacing the fixtures and upgrading to all LED in the future for energy costs and quality of lighting.

The electrical service of the facility appears to be original and in decent condition. Typical manufacturer recommended useful serviceable life for service boards and associated equipment is approximately 30 years in most installations. Recommend routine maintenance including lug torque check for all panelboards and feeders.

The building is not protected by a fire suppression system or a fire alarm system. The addition of a fire alarm system should be considered since it is open to the public.



Facilities Assessment

WILLOW STREAM POOL



INTERIOR CONDITIONS / FINISHES / ACCESSIBILITY

The exhaust fan penetrations in the roof deck have visible light coming through. This is open to weather and damage. These units are also past their expected life. New exhaust fans should be installed with taller curbs and flashed into the roof properly.

Changing benches are provided in the locker rooms for patrons. These benches do not meet the IAC and ADA code requirements. They require a deeper bench and side access.



ANALYSIS OF WILLOW STREAM POOL

The analysis of the facility focuses on 5 major points of concern:

1. Systems, equipment, and spaces / functions that the facility should have to comply with applicable building codes in effect when the building was constructed or last remodeled.
2. Space needs for the current building based upon current usage patterns and requirements.
3. Relationships/interaction & separation/isolation of spaces / departments recommendations.
4. Issues that do not comply with current building code and will be required to be compliant at the time of next major remodeling or addition to the facility.
5. Miscellaneous comments/issues including good practices.

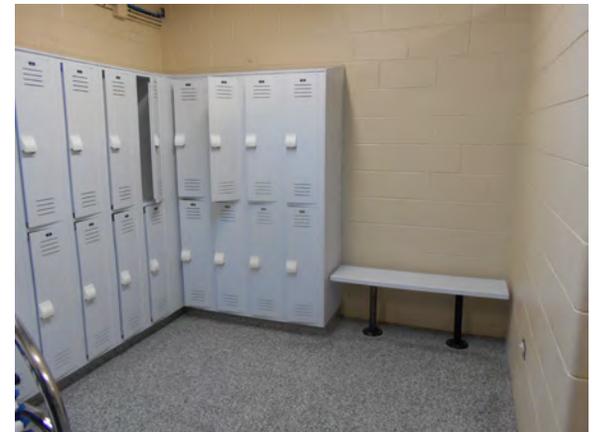
Each item has also been evaluated on a life safety basis. Certain items should be completed sooner than others based upon the impact they have on the safety of the occupants, employees, or public.

(a) Urgent—items that present an immediate hazard to the safety of the occupants. These items should be typically corrected within a 1-2 year period.

(b) Required – items that are necessary for a safe environment but present less of an immediate hazard to the safety of the occupants. These items should be typically corrected within a 2-4 year period.

(c) Recommended – items that do not present any immediate hazard to the occupants. These items should be typically completed within a 4-10 year period if found to be pertinent to the District’s Strategic Plan.

This double classification approach is shown to provide a minimum amount of work required to get the current facilities safe for its occupants. It helps define each item according to operations and need. Ultimately it helps give the District a game-plan on addressing the facility.



Facilities Assessment

WILLOW STREAM POOL

WILLOW STREAM POOL Item / Issue		TYPE OF ITEM (1, 2, 3, 4, 5)	PRIORITY OF ITEM (a, b, c)	ESTIMATED IMPACT
1	Regular Asphalt / Concrete Paving / Drives Maintenance	5	b	
2	Address Pavement Cracks Outside the Main Entrance	5	b	
3	Address Roof Edges and Raised Condition	5	c	
4	Address Drinking Fountain not Compliant with ADA or IAC	1	b	
5	Paint Slide Railing	5	c	
6	Provide Gate Latch Compliant with IDPH, ADA and IAC at Wading Pool	1	b	
7	Replace Exhaust Fans	5	b	
8	Address Low Lighting Issues in Restrooms	1	b	
9	Upgrade Lighting Fixtures to LED	5	c	
10	Perform Routine Maintenance for All Panel-boards and Feeders	5	b	
11	Install Fire Suppression and Fire Alarm Systems	5	b	
12	Replace Exhaust Fans and Patch Roof System to be Weathertight	5	b	
13	Provide ADA and IAC Compliant Benches and Clearances	1	b	

Figure 37- Willow Stream Pool Assessment Table

Facilities Assessment

EXECUTIVE SUMMARY

EXECUTIVE SUMMARY

As mentioned in the beginning of this report, the purpose of the facility study was to evaluate the existing facilities of the District with regards to current code requirements, best practices, condition of facilities and space. Under each facilities evaluation, items were listed under priority. The items listed as (a) are the items that should be addressed first. Some of these items are fairly simple to correct while others may require additional planning and design in addition to deciding which way to best address them. For the items listed under (b) and (c), some of these items could still be solved with a simple solution. Other items may be solved by switching or eliminating functions within a facility. The point is these items are not a simple issue-fix type of a problem. The District needs to evaluate each item, each function, and determine how they would like to ideally best operate.

In general, some of the facilities within the District are in acceptable condition. For those facilities, one of the most essential components to keep these buildings sustainable during their lifetime is maintaining the exterior walls, foundations, roofing and mechanical systems. Constructed properly and appropriately maintained is the best way to ensure a long lifespan for these critical systems.

Many of the exterior walls for those District buildings are constructed of masonry. In order to keep these masonry walls from deteriorating, a maintenance plan should be developed that includes regular cleaning of the exterior brick or block as well as periodic tuck-pointing to keep the masonry joints from deteriorating.

When it comes to protecting the buildings from water infiltration, preserving a proper roof condition is essential. Similar to the exterior walls and masonry, a regular maintenance plan should be in place for the roofing materials. By keeping the roof free of dirt and debris, water can properly flow off of the roof without causing any damage to the building especially during inclement weather and the winter months.

Mechanical (HVAC) systems play a key role in the life of a building as they directly affect the efficiency and comfort of the building's interior. Since these facilities are occupied during various hours of the day, the comfort and efficiency of the interior spaces is critical. Implementing a facility maintenance plan will go a long way to assist in prolonging the life of the facilities and reduce the costs associated with developing potential larger issues in the future that can develop due to the absence of such a maintenance plan. Following is a summary of the major items identified at each facility that we would recommend addressing, please see the detail report for a full description:

- Alcott Center is in good condition overall. Flow through the facility should be researched to help provide better office space and functions between departments. The multi-purpose room needs to have a large amount of work completed with the possibility of tearing it down and replacing it at a reasonable comparative cost. There are several emergency egress items that should be addressed through the space, as well as accessibility concerns periodically throughout. Some fire alarm and detection additions are required. The roof needs to be looked into sooner than later and regular maintenance of the roof should be upkept.
- Buffalo Grove Fitness Center
- Community Art Center
- Emmerich Park is in good condition, with some exterior envelope work that needs to occur. Accessibility to the mezzanines and basement need to be addressed. Providing gender specific restrooms for employees needs to be addressed.
- Golf & Sports Dome is in good condition. Exterior joints need to be caulked. There are some accessibility items that need to be addressed. Some fire alarm detection should be added.

- Raupp Museum
- Spray N’ Play requires some structural repairs and the roof panels Need to be addressed. Some accessibility items need to be addressed.
- Twin Creeks Park
- Willow Stream Pool is in very good condition. There are a couple of accessibility items that need to be addressed.

The purpose of this report is not necessarily to give final solutions to each of the items identified, since there are often multiple solutions to the same problem, and each preferred solution may differ depending upon the District’s intent, schedule, and budget availability. This report is meant to highlight prioritized items of concern pertaining to the existing facilities, space, and operations so that they can be weighed against the possibility of facility repair, replacement or potential expansion or renovation. It is self-evident to anyone in today’s business world that business has become a job of minimizing risk while maintaining effectiveness and operations. In the public sector that is the municipal operations, this is no different.

The report should be used as a guide to evaluate and determine the items that should be addressed by the District regarding the existing facilities, including use as a reference during discussion about current facility enhancements versus potential facility expansion, remodeling or new construction. The District’s high level of commitment to its citizens warrants a proper evaluation of all items to allow the District to continue to operate on such a high level of professionalism.

Number of “urgent” priorities, per facility

Alcott Center	11
Fitness Center	3
Community Arts Center	3
Emmerich Park	9
Golf & Sports Center	11
Raupp Museum	4
Spray N’ Play	6
Twin Creeks Park	6
Willow Stream Pool	0



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IX Park Operations and Recreational Programming

OVERVIEW

The Buffalo Grove Park District, as part of this comprehensive master plan, requested recommendations as indicated in the project objectives to guide the district in realizing its vision for the next 3 to 5 years. With data gathered through internal reporting, two high priority areas were identified by BGPD. They are the following:

1. Workplace Culture

- improve interdepartmental communication through periodic meetings
- introduce new techniques such as Face time to reduce email dependency
- host a workshop to positively impact organizational performance

2. Marketing

- reflect the community's diversity in marketing materials
- streamline the registration process
- give participants a voice for feedback

In order to provide the most objective review possible, a holistic assessment of the BGPD structure was conducted. Analyses from marketing materials, focus group workshops, questionnaires, and site visits are a few examples of content used to compile the “Recreation Programming & Maintenance Operations Assessment” written by the BGPD in November 2016 and subsequently referenced in this report.

The inclusion of a variety of sources helps determine the areas of excellence as well as the areas in need of improvement for the administration, operations, and programming.

METHODOLOGY

Both qualitative and quantitative data was included in this review, and that includes the following:

Qualitative Assessment

- Review of organizational chart and reporting structure
- A review of the park district's recent recreation program brochures
- Four focus group workshops to ascertain various sentiments among participants
- Visits to recreation buildings/facilities
- Visits to fitness competitors
- Professional publications and associations

Quantitative Assessment

- Review and analysis of recent program enrollment and facility membership
- An analysis of statistical data provided by the BGPLD
- Staff questionnaire regarding programming
- Staff questionnaire regarding maintenance operations
- Staff questionnaire regarding workplace culture
- Queries of other municipal agencies
- Data from sources and references

The findings may thus be regarded as either qualitative or quantitative. For example, the BGPLD looked to evaluate the efficiency, effectiveness, strengths, weaknesses, threats and opportunities for all of their programming offerings. This is an example of qualitative data, whereas the number of programs offered and trends in program enrollments are examples of quantitative data.

FINDINGS AND ANALYSIS

Unfortunately, some recreation program data was not readily available due to a recent change in registration software (RecTrac, which was launched in the spring of 2014). However, the District provided a chart for programs offered since 2014, set by category along with the percent change by year. The data for it is seen below.

In time, a stronger understanding of the RecTrac software will yield even more helpful data collection in the decision-making process. Without accurate registration and participation data, the decision whether or not to continue offering a program is often based upon the subjective opinion of the programmer.

Other findings that can come from RecTrac in the future should be used to improve the certainty of BGPLD staff and administration regarding which programs are of interest to those who are served by them.

INTEREST THROUGH PARTICIPATION

The direction BGPLD takes with their programming options is influenced by the theory that demand is driven by programming. What exists now should sustain the demand for continuation, because the activities in programming are carried on outside of programming, as well (to use athletics as an example, facility attendance is thus a sound measure to support this theory and would also be beneficial data to collect in the future).

<u>Programs Offered</u>	2014	2015		2016	
	Offered	Offered	%	Offered	%
Adult classes	282	282	0	282	0
Adult sports	103	103	0	108	0.049
Camps	773	773	0	773	0
Dance	318	318	0	321	0.009
Early Childhood	176	176	0	176	0
Preschool	47	47	0	47	0
Raupp Museum	12	12	0	12	0
Senior programs	141	141	0	141	0
Special events	22	22	0	23	0.045
Youth incl safety town	195	195	0	194	-0.005
Youth sports	499	499	0	497	-0.004
Aquatics	284	284	0	284	0
Total Offered	2852	2852	0	2858	0.002

Figure 37- Table of Recent Programs Offered

The recognition of a program life cycle is useful, as well. It should be of high priority to conduct a Program Lifecycle Assessment every 3 to 5 years to methodically and factually determine where programs are in their life span and determine which should be refueled and energized and which should be terminated. To spark engagement, the BGPD looks to have somewhere between 10 to 15 percent of its programming as first time offerings. Also, 10 to 15 percent might be up for discussion regarding termination, with the remaining programs consisting of growing or mature offerings.

Once again, the need for RecTrac training is reinforced when acknowledging the necessity to extract information on program enrollment which can identify what is losing interest from participants based on data such as enrollment trends. This should be of the highest priority.

To reinforce these ideas, data that can be helpful to indicate how programs are serving the participants can come from:

- success rates
- program enrollment/attendance
- average class sizes
- waiting lists
- number of new and free offerings

Determining a program’s success rate is through a ratio of how many programs are run over how many are offered. For example, if there are 500 youth sports programs offered and 479 are run, then the youth sports has a success rate of 96%. Of course, this same approach can be used similarly for any program.

This being acknowledged, this report has determined that any program with a success rate under 70% indicates that the “time, effort, and resources” allocated to it are not in sync with community interests. The enrollment/attendance in such a circumstance is under what is considered to be efficient for the BGPD. Likewise, a program with above a 90% success rate should be considered for expansion in offerings, or at least similar alternatives that reflect “cutting edge” trends.

Average class sizes indicate program interest as well as financial sustainability because the larger a class size is, the greater that revenue margin will impact the district’s bottom line on the program. This is similarly true with the development of waiting lists; they “indicate demand exceed supply for that particular program”.

In terms of new offerings, they are seen as useful to drawing attention to events and activities that can be widely marketed. They are labeled as “new” in marketing materials such as brochures and included in pricing options, services, and programs. Between 2015 and 2016, there was a decrease in the new opportunities for every season so far (fall has yet to be determined).

There’s also an aggregate decrease in free opportunities from 2015 to 2016, although this is due to the reduction in summer

opportunities. It’s a common practice for BGPD to offer several free, community-wide events, and they are usually financed by tax dollars.

The benefit to these free opportunities can certainly be the exposure of the BGPD programs to more households within the district. The best way to measure this within the next five years can come from assessing the household penetration rate.

Through the pattern of BGPD household penetration rate, there will be a more clear assessment as to whether or not the programming is connecting to the community. This also identifies how many households are not engaged in the programming, and therefore if and how marketing strategies should adjust accordingly to reach out even more.

In light of America’s contemporary civic climate, unique approaches to addressing negative societal, cultural, and behavioral trends could be integrated in programming. Courses in cultural awareness, healthy eating, safety and anti-violence solutions are highly relevant today and may attract a diverse group of participants with a desire to understand,

	NEW OPPORTUNITIES			
	2015	2016	Variance	% Variance
Winter	33	27	-6	-18.18
Spring	26	12	-14	-53.84
Summer	31	27	-4	-12.90
Fall	47			
Total	137	66	-24	

Figure 38- Table of Recent New Opportunities

and promote acceptance, of others and of one's self.

In addition, consider developing more programs as multi-generational. Generally speaking, assisting in computer/cyber technology can be something youth can offer, while tutoring in traditional academic subjects (or storytelling as a means of making modern history more relevant) can be something seniors can offer.

Consider budgeting a "New Program" line item that provides funding for program ideas that come up during the year. This provides flexibility to offer innovative programs that may not have been anticipated during the budget cycle and/or the opportunity to capitalize on a trend.

DYNAMIC PROGRAMMING

One of the reoccurring ideas in the BGPD report deals with staying up to speed with trends in recreation. "Cutting edge" utilities such as mobile apps, health monitoring gadgets, and tablets are all being considered as beneficial for long-term planning.

Through staff input on what might be responsible

	FREE OPPORTUNITES			
	2015	2016	Variance	% Variance
Winter	19	20	1	5.26
Spring	23	26	3	13.04
Summer	71	43	-28	-39.43
Fall	8			
Total	121	89	26	

Figure 39- Table of Recent Free Opportunities

	Buffalo Grove	Households with	Penetration	Percent
<u>Year</u>	<u>Households</u>	<u>Enrollments</u>	<u>Rate</u>	<u>Change</u>
2014	16,664	3784	23%	---
2015	16,664	4752	29%	6%
*2016	16,664	4122	25%	-4%

Figure 40- Table of Recent Household Penetration Rates

for inhibitors of efficient, relevant, and dynamic programming, the following findings were noted:

- Programming is stale, outdated
- Worthwhile programs never get developed
- Confusion over varying rates for facilities
- Ineffective marketing in brochures
- Lack of space, or best utilization of space

The BGPD would benefit greatly in addressing these concerns with feedback on solutions from both internal and external viewpoints, and by responding in a collaborative sense through new or introductory

offerings.

Some high priority examples may include:

- Outdoor Adventure Programs such as canoeing, kayaking, rock climbing, driving off road vehicles, outdoor trips, trail activities
- Nature and Environmental Programs
- Wellness and Fitness Programs for women- fastest growing segment of fitness programming
- Indoor Adventure Programs*

*For example, exposing the younger generation to existing facilities, such as the Raupp Museum, with technology and creativity-based programs such as...

- o Robotics
- o LEGO building contest
- o Pottery Classes
- o Painting / drawing classes

may result in continued renewal of memberships and youth engagement, as well as potential new family enrollment.

REVIEW- WORK CULTURE

While any place of work can identify room for improvement, it's worth noting that many positive findings came from the work culture survey. The vast majority of respondents believed they have adequate training (96%), time (86%), funding (86%), feedback (82%), and tools (82%) relating to their work.

Areas for improved communication were nearly universal, however, and this can explain where a greater desire for unity within the BGPD originates. Another key area that workers desired was compensated family leave (maternity/paternity), and this once again is connected to the desire for greater communication. As the report says, the paid leave is "much less used than other forms of paid time off". If policy indicates that this is a benefit to the BGPD workers, than communicating it to all employees is critical.

Understanding the changing trends in society may not immediately seem relevant to workplace culture, however when discussing how any service-related organization functions properly, it is important to know that a workplace is not a vacuum but rather a sponge that absorbs cultural elements of its current time and place.

For example, developing technologies of cell phones and tablets combined with more traditional computers and televisions has sped up the pace and productivity of the workforce. This leads to what can sometimes be described as an overwhelming feeling of instantaneous

conditioning; information is more readily accessible than ever before, yet processing that information isn't as fast paced (and perhaps it shouldn't be).

Another notable trend in cultural shifting is the greater acceptance of LGBT people as well as a greater understanding of the different lived experiences people of color and immigrants often have in society. One of the responsibilities of any park district is to always strive to be as equitable as possible in accessibility, distribution, and inclusion, both in its programming and in its work environment.

RECOMMENDATIONS

A beginning step to improving communication, and therefore improving morale and productivity, is to address on an individual level what a worker's preferred method of contact is.

This ties appropriately into adjusting with the technology trends of the day, because although some forms of communication are dominant in preference, others may be equally as valid and can diversify a workplace culture for the better. Technology is meant to assist communication and adapting this viewpoint, by recognizing everyone's own style of communicating as credible, may strongly improve the unity of the BGPD staff. As long as the communication happens effectively, it should not be of concern how it happened (email, text, Facetime, etc.).

With technology now having a dominant place in the conversations, the caution that

must be taken comes with how much exposure of screen time is already present among all age groups in society. Are mental health issues, or general concentration/exhaustion concerns impacted by the growing trends of technology? At times, the limit must be drawn for when technological interaction is appropriate and when physical activity is a more appropriate approach to improving one's mental health.

Finally, if there is no policy currently on the books regarding paid family leave, it should be advocated for on behalf of the BGPD's interest in maximizing organizational performance and retaining satisfaction of benefits among employees.

REVIEW- MARKETING

While the BGPD is not a for-profit business, it can adapt certain strategies of one in order to remain financially stable. The most effective way to do so is through focusing on program enrollment goals. In a sense, the BGPD seeks to develop its sense of "branding" for the public to recognize with consistent familiarity. This approach can open up potential for positive responses in the introduction of new programs or services, should the BGPD work with a reputation that reflects past satisfaction with its programming.

Along with establishing clear goals in programming and enrollment numbers, a successful BGPD marketing plan will include the following:

- actions to take
- a timeline for the actions
- cost estimates of the actions
- those delegated to each action

The tasks to marketing will be approached in multiple ways, primarily through the seasonal brochures and the BGPD website along with social media. In order to promote the recognition, a similar layout for every brochure would best be left consistent rather than experimental. Varying elements would of course be the front cover along with some content that is distinguished as “new” or “free” in concise lettering that stands out to gain attention. Simple labeling can make a difference when drawing people’s interests.

Descriptions of programs should include the objective so that the reader can determine if such an objective has appeal to them. Expectations should also be mentioned, so that as the reader is considering enrollment, they are knowledgeable of the commitments and the rewards.

RECOMMENDATIONS

To increase awareness of the Buffalo Grove Park District offerings to people who have yet to be engaged with them, the initial exposure will most likely be through visiting nearby parks along with seasonal brochures, if mailed to each and every household within the district.

It would be beneficial for both District staff and families to share a common expectation of what imagery represents the District. Currently the icon that is showcased on the BGPD website does not match a majority of the icons that are displayed on the physical park signs.

While a buffalo is a unifying and iconic character for the community, it is currently used with excessive variance. Therefore, ordinary civilians may be less aware of the difference between the village and the

park district. In order to build a more distinguished reputation, BGPD would be well served with adopting a uniformity in its imagery for branding purposes, while at the same time maintaining a variety of program offerings.

Another worthwhile approach to developing the District’s brand with more precision comes with themes in colors and fonts. These can be translated through park signs, seasonal brochures, the website, and whatever marketing resources are distributed to the public. These certain consistencies can help reinforce the standards of BGPD for internal referencing in future marketing tasks as well as the identity projected to the public so that in time, a positive reputation is associated with the various exposure.

If the consensus is that the imagery of the park district’s signs have an outdated icon, while at the same time there is little (if any) room in the budget to replace them with the updated icon promoted on the website, then perhaps a temporary solution would be to display the outdated image as a secondary/supportive graphic that can tie in the operations and programming together for people to understand the extent of BGPD’s offerings and involvement in the community.



RECOMMENDATIONS- FITNESS

Engaging with the members use of the fitness programs is of high priority so that the Buffalo Grove Fitness Center stands out as a unique place for exercise. Therefore, address the internal competition of running fitness programs at park district locations other than the Buffalo Grove Fitness Center and consider a member, nonmember rate.

Also, target adults ages 25-54, as they are the largest segment of gym memberships. Contacting members who have not attended for two weeks is a priority, and even higher of priority would be to establish socials.

Although not as high a priority, consider also investigating competitors’ peak hours and then offering a discount, incentive or special during that time of day. This may also present opportunity to form a coalition with nearby fitness facilities to work jointly to expand the market rather than compete for an existing market share.

RECOMMENDATIONS- AQUATICS

Although not a top priority, consider building a case/reasoning for renewing the intergovernmental agreement for use of the high school Natatorium. If there are popular swim lessons at stake, this would become more of a priority.

Initiate discussions with school district officials to extend or renew the agreement two years prior to the expiration. As a payment option consider a contribution toward capital replacement in lieu of a rental fee



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XII Park Assessments

The purpose of the inventory and assessment was to gain a comprehensive and accurate picture of the opportunities available to the residents. The inventory process was conducted by the consultant team throughout the summer of 2016. Roughly 30 to 60 minutes were spent, on average, at each park property preparing a general inventory of amenities, assessing their condition and noting potential improvements for each site. Existing conditions of site furnishings, recreation amenities, court surfaces and equipment, athletic fields, fencing, lawns, etc. The overall design and ambiance of the site was also assessed. The information collected on the outdoor park sites is detailed in this chapter and the site locations are identified on Exhibit 2.

2016 aerial photography by Google (TM)

Earth was reviewed and served as the basis for the park maps in this plan. Individual inventory sheets were prepared and photographs taken of each site, including general park views, specific amenity views and detail photos of furnishings and problem areas. Park maintenance was also considered in the evaluation. Maintenance recommendations are included as a part of the comprehensive plan where appropriate. In addition to the tangible features listed above, the team also evaluated the broad “sense of place” or overall function in the facilities design.

These broad categories were evaluated by assessing the overall facility, as well as the site’s setting.

The ratings range from excellent to poor, and

are based on a high standard of quality or perception. In order to maintain a common scale, after the evaluators completed their site visits the group met to coordinate comments and normalize the reviews. Below are the rating descriptions.

Excellent: Standards Exceeded

Very Good: Above Average Condition

Good: New or Require Little Maintenance or Repairs

Fair: Still Functioning But Require Maintenance

Poor: Replacement/Immediate Attention Required



Alcott Center & Park

Address: 530 Bernard Dr

Classification: Community Park

Status: Owned

Description

Alcott Center is the district's headquarters and an additional facility assessment is included in the previous chapter's facilities report. The site is approximately 6.8 acres of land and includes outdoor learning areas, one skinned ball field and two playground areas.

The outdoor learning area allows for open play and a new shelter for group discussions. New landscape and flowers have been included that provide interest for the young children in the pre-school programs. Along the walk and decorative paver areas there are a couple of small repairs required to level pavers.

The ball field has an older out of date backstop and fencing that should be replaced. Additionally soil containment should be considered along the west side of the ball field. There is a significant loss of infield mix being washed out onto the walking/bike path creating a slip hazard. Older bike racks are present along the side protection fencing on the west side of the field. There several separate play areas one



with a five bay swing set, four bays with traditional swings and one bay with two bucket swings. This area does have a loose fill surface in the fall area.

Adjacent to the swing area is an older elementary 2-5 play area that is popular with the users that were present during the observation. This area does have older resilient poured-in-place surfacing and is a good amenity for the younger children.

The flagship amenity for Alcott Center is the

new Landscape Structures play structure in the back of the building and near the courtyard. This structure offers considerable play value and options for a larger number of children. The play structure has shade structures incorporated into portions of the apparatus. The park was designed with several grade changes for interest and to fit the site topography. Appropriate ramps and safety containment are included.

Conditions Assessment	
Curb Appeal	Very Good
Pedestrian Access	Very Good
Internal Access	Fair
Playground	Very Good
Sand Play	N/A
Shelter	N/A
Toilets	N/A
Basketball Courts	N/A
Sitting Area	Very Good
Ball Field	Good
Soccer Field	N/A
Athletic Turf	N/A
Lawns	Very Good
Landscaping	Very Good
Paths/Trails	Fair
Parking	Good
Park Sign	Good
Site Furnishings	Very Good
Maintenance	Very Good



Aptakistic Park

Address: 1231 Weiland Rd
Classification: Neighborhood Park
Status: Owned

Description

Aptakistic Park is a 4 acre neighborhood park located at 1231 Weiland Road. The neighborhood park consists of a ball field with a skinned infield, a bike path connection to the regional trail, a small picnic area, and bike parking area. The parking needs are served by the school district building's parking lot to the north.

The ball field is in overall good condition. The fence condition is fair with minor rusting of posts, rails, and fabric. The fabric has no significant areas of warping. The infield surface is in good condition; it is free of weeds and the margin is good. While there are no significant areas of erosion, there are signs of infield material being transferred across the adjacent asphalt paving and into the turf. The outfield turf is in good condition with no areas of significant wear, though it is somewhat weedy. Ball field furnishings include player benches embedded in the asphalt, bleachers, and an equipment box. The benches and bleachers are unfinished aluminum and in good condition. The equipment box is fair, showing signs of wear including a fair amount of rust.



The picnic area consists of two picnic tables and is in fair condition. The woodchip surface is degraded and there is a significant lip from the asphalt path to the woodchips.

Other site furnishings include the park sign, large bike racks, and litter receptacles. The park sign

matches the district standard and is in good condition. The bike racks appear to be utilized by the school facility and are in good condition, as is the pad they are located on. The litter receptacles are wood slat without a cover and are in fair to poor condition. While they are free of damage and wear, the wood slats are significantly weathered.

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Maintenance is good overall. The turf is full with no areas of wear or thinning, though it is somewhat weedy. The asphalt surfaces have been recently seal-coated. Landscaping is minimal with the only bed around the park sign. The bed is generally weed free and landscape maintenance is good. Along the pavement adjacent to the ball field, the transfer of ball field material has caused the turf to build up several inches.

Conditions Assessment	
Curb Appeal	Good
Pedestrian Access	Very Good
Internal Access	Good
Playground	N/A
Sand Play	N/A
Shelter	N/A
Toilets	N/A
Basketball Courts	N/A
Sitting Area	Good
Ball Field	Very Good
Soccer Field	N/A
Athletic Turf	Very Good
Lawns	Very Good
Landscaping	Good
Paths/Trails	Very Good
Parking	Very Good
Park Sign	Very Good
Site Furnishings	Good
Maintenance	Very Good



Apple Hill Park

Address: 2275 Apple Hill Ln
Classification: Neighborhood Park
Status: Owned

Description

The 8.66 acre neighborhood park is located at 2275 Apple Hill Lane. The park amenities include a picnic shelter, playground, a skinned ball field, soccer field, basketball court, paths, sand volleyball, and a detention area. There is very good pedestrian access to the park and within the park. The paths within the park are in very good condition. The parking lot is perpendicular to the road and has 28 stalls and two accessible stalls.

The ball field is in good condition. All components of the fence are in good condition with no post heaving and very little rust. The infield is good with very little turf encroachment along the margin. However, the mix is built up above the bottom of the backstop behind home plate. This could eventually end up on the asphalt behind the backstop. A review of historical aerials shows this has occurred in the past. The aluminum player benches and bleachers as well as the equipment storage box are in very good condition.



The volleyball court is in fair condition. The sand is an adequate depth and free of weeds. There is no containment for the sand; the turf edge is uneven. The turf edge essentially represents a regulation court. The change in surfaces is a tripping hazard for a player attempting to play a ball out of bounds.

The basketball court is in good condition. The color coat is good with very little cracking that has

been repaired. The standards are in good condition.

The picnic shelter is in good condition. The brick clad columns are free of cracks and the wood shake roof is intact with no visibly missing shakes.

The playground is in overall fair to good

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condition. The loose fill woodchip surfacing is an adequate depth, however there are areas of decomposition, compaction and weeds. The apparatus is designed for the 5-12 age group and is accessible for those with limited mobility. There are also two belt and two bucket swings, and two spring toys that are in good condition. A portion of the playground is bordered by a concrete wall and fence. The wall is in good condition and the fence is fair; the rails have significant peeling.

Site furnishings include recycled plastic benches, litter receptacles, and picnic tables. All are in good condition. The litter receptacles are steel drums with domed lids except those at the ball field which have no lid. There are only two receptacles at the shelter/ basketball court area and two at the ball field.

The maintenance is good overall. Except for shade trees, there is very little landscaping. The only landscape bed is around the park sign. While the bed has few weeds, much of it is bare. There is no mulch at the base of the shade trees. The sign is in good condition and matches the district style. Turf throughout is good with few weeds. The detention basin turf is slightly more weedy than the rest of the park. The bottom of the detention basin serves as the soccer field. There are no areas of wear that would typically be found on a soccer field.

Conditions Assessment	
Curb Appeal	Very Good
Pedestrian Access	Excellent
Internal Access	Excellent
Playground	Fair/Good
Sand Play	N/A
Shelter	Good
Toilets	N/A
Basketball Courts	Good
Sitting Area	Very Good
Ball Field	Very Good
Soccer Field	N/A
Athletic Turf	Good
Lawns	Good
Landscaping	Good
Paths/Trails	Very Good
Parking	Very Good
Park Sign	Good
Site Furnishings	Good
Maintenance	Very Good



Bicentennial Park

Address: 1301 N Arlington Heights Rd

Classification: Neighborhood Park

Status: Owned

Description

Bicentennial Park is a 3.3 acre neighborhood park located at 1301 North Arlington Heights Road. The park includes a sand volleyball court, a soccer field 70x45 yard soccer field (U12), a basketball goal (located in the parking lot), a single picnic table, a 5-12 play area, a 2-5 play area, and a swing with 2-buckets and 2-belt swings. A 9-car off street asphalt parking area with 1 handicap stall is accessed from Arlington Heights Road.

The parking area is in fair condition. The parking stalls are defined by wheel stops. There are several areas showing evidence of standing water/birdbaths on the pavement. Drainage from the parking area exits the pavement and appears to pond along the east edge of the asphalt park.

The turf areas are in good shape and are relatively weed free.

An asphalt path system bisects the park and provides pedestrian access from Logsdon Lane to



Arlington Heights Road. This path is in fair to good shape. There are areas requiring seal coating and crack filling to prevent further pavement deterioration.

The interface between the 5-12 play area and the asphalt path appears to trap water resulting in the path seal coating to flake off.

The marquee sign matches the district “standard” and is located along Arlington Heights Road. It has

minimal landscape accent plantings around it. There is no park signage along Logsdon Lane.

The park is bounded by single family residences on the east, multifamily residences on the south, a private Montessori school on the north, and Arlington Heights Road on the west.

Both play areas and the swing area have poured in place surfacing that is in good

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condition. The play areas are separated. The 5-12 play area and the swing set are separated by an asphalt path. Access to the 2-5 play area is via this path and a poured in place walk.

There are several mature trees in the park, with some smaller deciduous trees adjacent to the play areas.

The play areas do not receive any shade from adjacent trees. The sand volleyball court lacks a defined edge, which allows sand to migrate into adjacent turf areas and makes it more difficult to mow adjacent to the sand court surface.

Conditions Assessment	
Curb Appeal	Good
Pedestrian Access	Good
Internal Access	Good
Playground	Good
Sand Play	N/A
Shelter	N/A
Toilets	N/A
Basketball Courts	Fair
Sitting Area	Good
Ball Field	N/A
Soccer Field	Good
Athletic Turf	Good
Lawns	Good
Landscaping	Good
Paths/Trails	Good
Parking	Good
Park Sign	Good
Site Furnishings	Fair
Maintenance	Good



Bison Park

Address: 905 E Dundee Rd

Classification: Neighborhood Park

Status: Owned

Description

Bison Park is a 4.5 acre park located at the southwest edge of the Park District on Dundee Road near Arlington Heights Road. The park primarily consists of a ball field, soccer field, a parking lot and walking path.

The park has great curb appeal. The main access drive into the park is shared by the adjacent strip center/business park. The park frontage is landscaped with varied topography, well maintained turf grass, and mature vegetation which serves as a vegetative screen to the parking lot located at the park's entry. There is one dead tree located south of the parking lot along the east side of the park that should be removed for aesthetics.

The parking lot is constructed in a sweeping arc fashion for aesthetic and visual interest. Parking circulation is restricted to a "one way in - one way out" configuration. The parking lot provides 24 spaces with one accessible stall. The drive aisle of the parking lot appears to have been recently replaced



as a result of storm sewer repair work. However, the remaining surface area (parking stalls) needs to be crack-filled and resealed. The entire parking lot needs to be restriped to help keep parking stalls and handicap parking area clearly visible. Illinois Accessibility Code (IAC) requires a sign with the international symbol of accessibility mounted high enough so it can be seen while a vehicle is parked in the space – no such sign was evident at the time of our site tour.

Entrance from the parking lot to the active

recreation area of the park is flanked by a 55 gallon drum used as a refuse container and a "u" channel post with signage identifying park information and hours of operation. Although serving a vital role to park patrons, the sign and litter can are both unattractive and non-welcoming. Additionally, a single bench is located near the entrance – within the turf area with no accessible route for users. The turf area beneath the bench has been compromised resulting in a worn area of compacted soil which appears to hold

water during large rain events.

The asphalt walking path which leads to the more active recreation areas of the park is in good condition. The asphalt surface is level and free of major cracking with the exception of one minor area near the ball field backstop in need of repair.

The athletic field at Bison Park supports multi-use activities – i.e. baseball and soccer recreation. The soccer field is located within the outfield of the ball field. The soccer field / ball field outfield turf is in great condition and appears to be very well maintained showing no signs of wear or stress. The turf is relatively weed free. The ball field layout with skinned infield configuration faces optimal orientation to prevent potential sun glare to field users and appears to be properly sized for the intended use. The soccer field/outfield turf appears to have the proper gradient, drainage, soil, and turf composition to support the current level of play.

The skinned infield is generally well drained and well maintained. Along the perimeter of the infield, weed growth had begun to establish. The backstop and ball field fencing are in good condition. The ball field has no dugouts; however, the player areas are fenced. The fencing around these areas is in good condition also, but there is a moderate amount of heaving. Spectator seating is located on the home and visitor side of the ball field on an accessible surface and are in good shape and of adequate size. The spectator area for the soccer field is also located on an accessible surface and is in good shape. The spectator seating areas are located just off the main asphalt walkway

Conditions Assessment	
Curb Appeal	Excellent
Pedestrian Access	Excellent
Internal Access	Excellent
Playground	N/A
Sand Play	N/A
Shelter	N/A
Toilets	Poor
Basketball Courts	Poor
Sitting Area	Poor
Ball Field	Excellent
Soccer Field	Excellent
Athletic Turf	Excellent
Lawns	Excellent
Landscaping	Excellent
Paths/Trails	Very Good
Parking	Good
Park Sign	Excellent
Site Furnishings	Very Good
Maintenance	Very Good

path – the path is located in front of the spectator seating area resulting in a distraction while viewing games. The 5 row bleacher located at the soccer field should be verified with local Codes regarding height restrictions/guardrail applications.

No Support facilities such as a port-o-john feature with screen enclosure or washroom facility exists on the site.



Cambridge Park

Address: 951 S Buffalo Grove Rd
Classification: Neighborhood Park
Status: Owned

Description

A 6 acre park located in the south east portion of the Park District, its amenities include a playground, picnic area, tennis courts and area for open soccer play as well as neighborhood pathway connections.

The playground is an older Miracle play structure apparatus. The play amenities on the structure consist mostly of climbing activities with two separate slides. The play structure is in generally good condition as of this assessment. On two-bay swing structure is located in the play area as well. The swing support arms are in need of cosmetic paint maintenance.

The playground surface consist of a poured in place resilient surface. The general appearance of the safety surface is good however it should be regularly tested for fall attenuation per CPSI guidelines.

There are two benches that are in good condition located in the park one with close access



to the playground surface providing an accessible route to the seating area. Another bench is located close but is within a turf area and has no accessible route of access. Turf under the bench can present additional maintenance needs.

The two tennis courts are older and have peeling surfacing on them. There is extensive signs of significant cracking and previous filling. Some of the cracks are re-opening and will require repair in the near future.

The walking paths have good connections with the surrounding neighborhoods, but are narrow and limit the use by multiple users.

Turf areas present opportunities for non-programmed play and soccer. The turf areas do have evidence of significant weeds that may need to be controlled.

Ample parking is available for park users.

Conditions Assessment	
Curb Appeal	Fair
Pedestrian Access	Very Good
Internal Access	Fair
Playground	Fair
Sand Play	N/A
Shelter	N/A
Toilets	N/A
Basketball Courts	N/A
Sitting Area	Poor
Ball Field	N/A
Soccer Field	Good
Athletic Turf	N/A
Lawns	Very Good
Landscaping	Fair
Paths/Trails	Fair
Parking	Good
Park Sign	Excellent
Site Furnishings	Fair
Maintenance	Fair

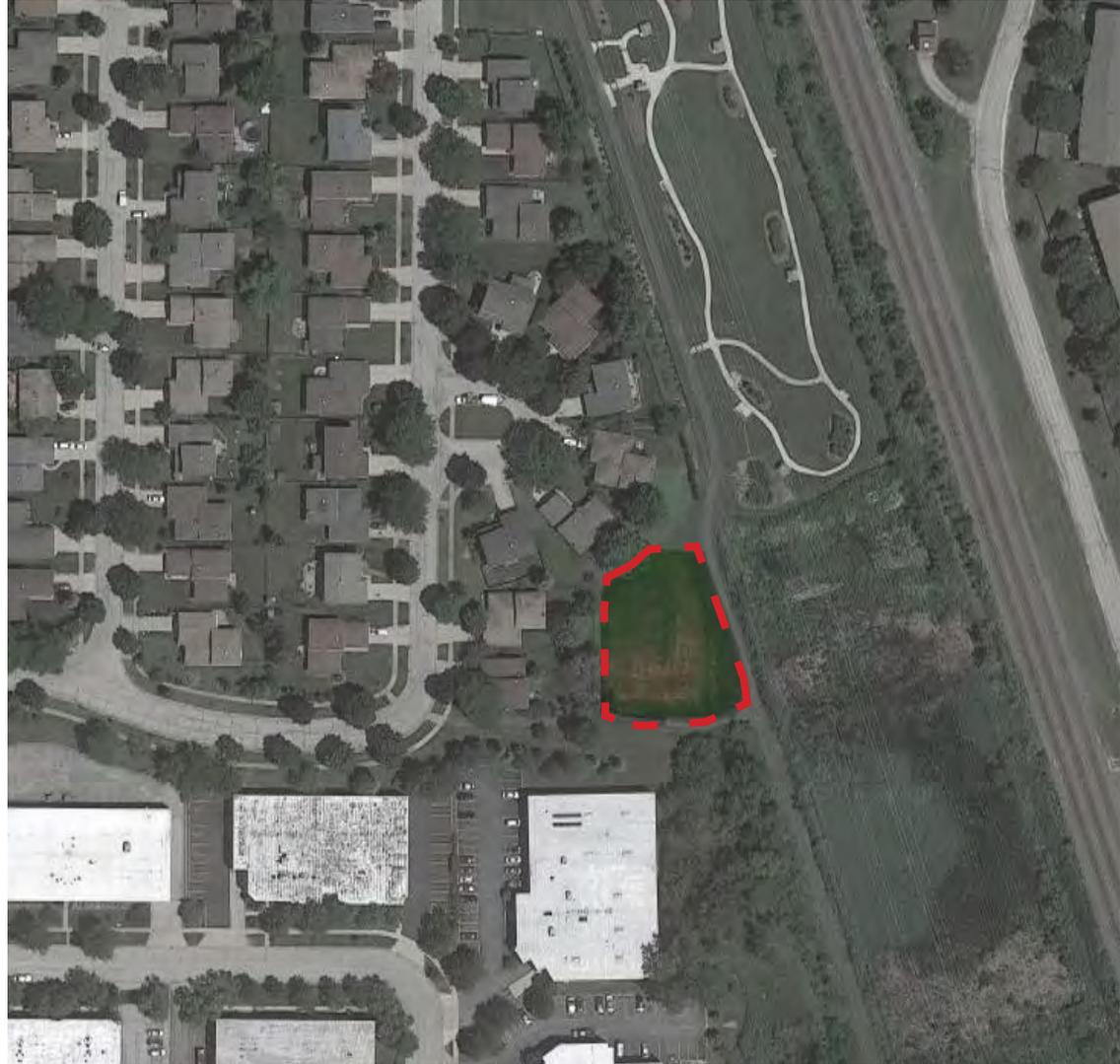


Candlewood Detention

Address: 443 Carman Ave
Classification: Detention/Open Space
Status: Owned

Description

Candlewood Detention is a 0.75 acre detention facility located at 443 Carman Avenue. There are no amenities at the site except for the regional trail system connection to the neighborhood. There is no park sign. Turf in the basin is in good condition for a detention basin. The paths through the facility are in good condition.



Conditions Assessment	
Curb Appeal	Poor
Pedestrian Access	Good
Internal Access	Poor
Playground	N/A
Sand Play	N/A
Shelter	N/A
Toilets	N/A
Basketball Courts	N/A
Sitting Area	N/A
Ball Field	N/A
Soccer Field	N/A
Athletic Turf	N/A
Lawns	Good
Landscaping	N/A
Paths/Trails	Good
Parking	N/A
Park Sign	Poor
Site Furnishings	N/A
Maintenance	Good



Canterbury Park

Address: 560 Blue Ash Dr

Classification: Neighborhood Park

Status: Owned

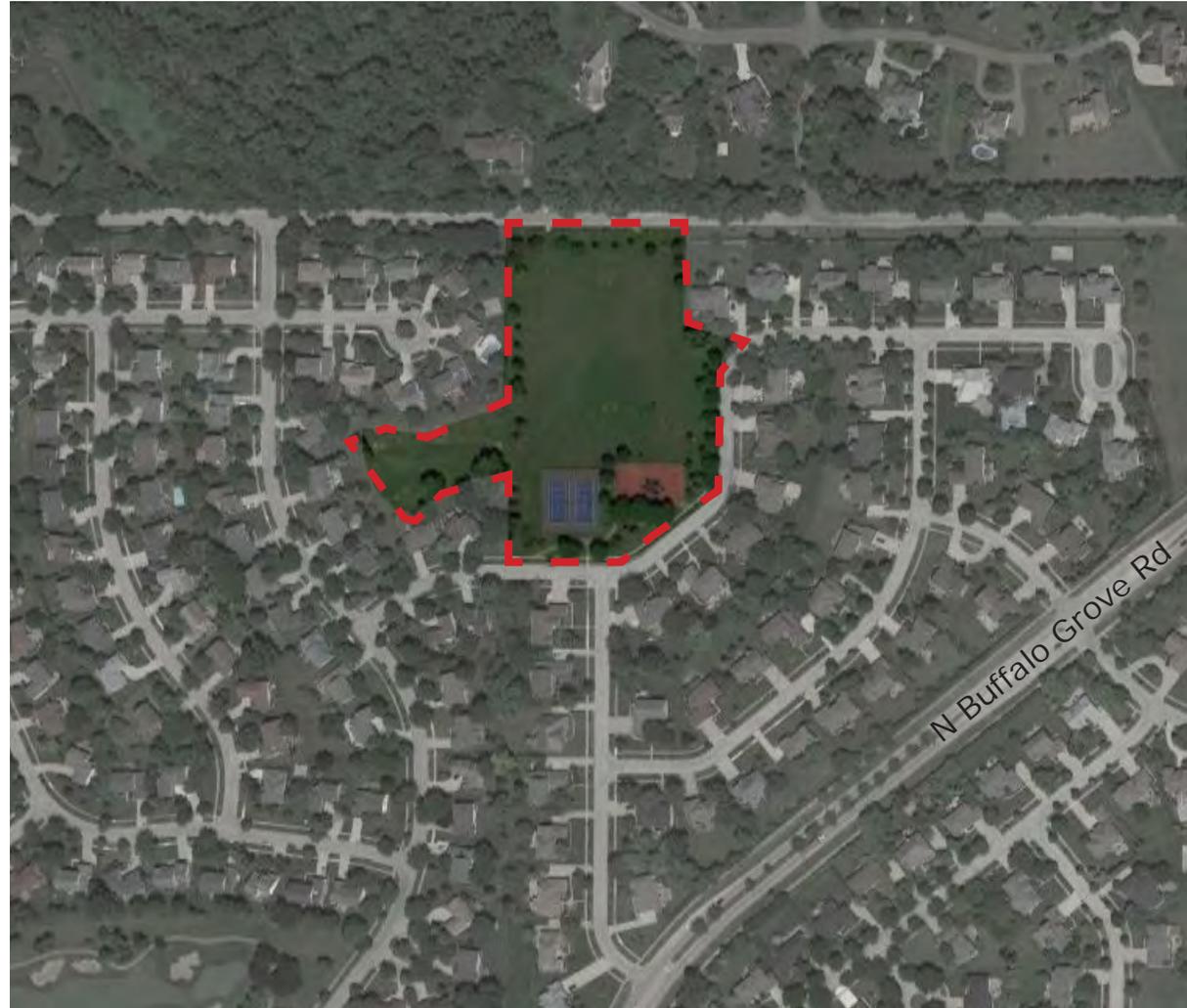
Description

Canterbury Park at 500 Blue Ash Drive is a 2.6 acre neighborhood park and detention area.

Curb appeal for Canterbury is very good as is pedestrian access to park facilities and activity areas. The play apparatus is in good condition. Play surface is poured in place rubber, and is in very good condition. Site furnishings are mixed, with trash containers consisting of painted 55 gallon barrels with dome tops. Benches are accessible and placed on hard surfaces. Overall play apparatus spacing is wide with limited “connectivity” of the various play elements. The area dedicated to the playground appears significantly greater than needed.

Detention area is utilized for open play area with soccer goals and backstop.

Tennis court surface and fencing is in good condition. Backstop available for neighborhood pick-up games. Pathways are due for seal coating.



Trees in good condition but need mulch rings to protect trunk, maintain moisture, improve soils, and improve mowing efficiency.

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Conditions Assessment	
Curb Appeal	Very good
Pedestrian Access	Very good
Internal Access	Good
Playground	Fair/Good
Sand Play	N/A
Shelter	N/A
Toilets	N/A
Basketball Courts	N/A
Sitting Area	N/A
Ball Field	Good
Soccer Field	Good
Athletic Turf	Good
Lawns	Good
Landscaping	Good
Paths/Trails	Good
Parking	N/A
Park Sign	Fair
Site Furnishings	Very Good
Maintenance	Fair



Cherbourg Park

Address: 815 Marseilles Cr
Classification: Neighborhood Park
Status: Owned

Description

Cherbourg Park is a 5.60 acre neighborhood park featuring two tennis courts, two basketball half courts, one sand volleyball court, a large open area used for soccer practice, and one large playground area. The sign at the park's main entry from Marseilles Circle appears to be newer and in good condition. The plant bed at the base of the sign is poorly defined and is in need of additional mulch. The daylilies planted here have grown large enough to block views of the lower portion of the park's sign. The asphalt path that spans the perimeter of the park is in fair condition and wide enough to accommodate maintenance vehicles. Adjacent to the playground there is a covered shelter with two picnic tables providing seating for up to 16 people. Each table has two permanently attached chessboards as well. The playground area is partially enclosed by vinyl coated chain link fencing and provides play equipment by Landscape Structures for various age groups. The play equipment overall is in fair condition as the colors are fading and beginning to chip away. The asphalt path surrounding the play area has noticeable



cracking and fading and is in fair condition. Two of the permanent benches provided along the path lack any nearby trees to provide sufficient shade to the area.

The two tennis courts southeast of the covered seating area appear to be a newer addition to the park. The court area and the vinyl coated fencing appear to be in very good condition. Two basketball half courts are

located north of the tennis courts off of the main asphalt path. While the two basketball hoops themselves are in good condition, the asphalt court is in poor condition. The court appears to be older than the connecting path and shows significantly more cracking and fading. The nearby sand volleyball court is in poor condition and in need of repair in the

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near future as various debris and small rocks are present. The poles are both leaning inward and need to be reset and the net is in poor condition, needing to be replaced as well. The remaining portions of the park is primarily a large turf area used as a practice soccer field and storm water detention. This open area is mostly enclosed by the surrounding neighborhood and framed by the asphalt path around the perimeter.

The landscaping at this park is minimal and could be supplemented with plantings to enhance the surrounding features. Several large canopy trees are located towards the park's entry and around seating areas for the playground. Ornamental and evergreen trees are used to frame specific use areas, around the basketball half courts for example. Plants of this park appear to be regularly trimmed and are in good condition as a whole. The park lacks lower, ground level plant material that could soften and enhance the various park elements. The existing turf throughout the park, including the large open area, is well drained and appears to be regularly maintained.

Conditions Assessment	
Curb Appeal	Very Good
Pedestrian Access	Very Good
Internal Access	Very Good
Playground	Fair/Good
Sand Play	N/A
Shelter	Good
Toilets	N/A
Basketball Courts	Fair
Sitting Area	Very Good
Ball Field	N/A
Soccer Field	N/A
Athletic Turf	N/A
Lawns	Good
Landscaping	Good
Paths/Trails	Good
Parking	N/A
Park Sign	Excellent
Site Furnishings	Very Good
Maintenance	Good



Children's Park

Address: 1000 Fremont Way
Classification: Neighborhood Park
Status: Owned

Description

Children's Park is a 4.5 acre neighborhood park located at 1000 Fremont Way. The neighborhood park includes a sand volleyball court, a backstop, a soccer field with goals, and a play area for 2-5 and 5-12 age groups. The 2-5 play area is separated from the 5-12 play area. There is a single panel backstop for neighborhood pick-up games, however with little to no "wear" on the base paths or around home plate we suspect the field is little used.

The park has street frontage on both Fairfax Lane and Fremont Way. The west and south boundaries of the park are single family residential. North across Fairfax and east across Fremont Way are multifamily homes. There is one multifamily home on the north side of the park between the park and Fairfax.

A small approximate 12-car parking area associated with the multifamily residential development drains to the south and across the park site toward the southeast. This drainage pattern is visible and contributes to the poorly drained eastern area of the site.



A soccer goal set (with no net) is in the middle of a 150x360 ft open turf area. The eastern half of the turf area shows signs of being slow to drain or intermittent standing water. This poor drainage limits the use of the eastern half of the turf area for sports practice areas or programmed activities.

Both play areas have poured in place rubber surfacing that is in good condition. The play equipment is also in good physical condition however the bright colors have faded.

The sand volleyball court lacks a defined edge, which allows sand to migrate into adjacent turf areas and makes it more difficult to mow adjacent to the sand court surface.

The 5-12 play area is located on the south side of the park approximately 500 feet from Fremont Way.

A trail/path system traverses the park from Fremont Way to Fairfax Lane and from

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Fairfax Lane to the play area and has been recently seal coated.

There is a nice grove of mature trees between the play area and Fairfax Lane. Which provides good shade for the 2-5 play area.

Curb appeal is fair to good, the marquee signage is consistent with the District's branding. Additional landscaping around the sign could improve the overall curb appeal.

Site furnishings include waste cans and benches. The waste cans are 55-gallon drums with tops, backless and backed benches appeared to be from the same manufacturer.

Conditions Assessment	
Curb Appeal	Fair/Good
Pedestrian Access	Good
Internal Access	Good
Playground	Very Good
Sand Play	N/A
Shelter	N/A
Toilets	N/A
Basketball Courts	N/A
Sitting Area	Good
Ball Field	N/A
Soccer Field	Good
Athletic Turf	N/A
Lawns	Good
Landscaping	Good
Paths/Trails	Good
Parking	N/A
Park Sign	Fair/Good
Site Furnishings	Good
Maintenance	Good



Churchill Park

Address: 1900 Buffalo Grove Rd.

Classification: Community Park

Status: Owned

Description

Churchill Park is a 21.47 acre community park on Buffalo Grove Road just north of Aptakisic Road. The park consists of a small ball field, a practice soccer field, and an asphalt trail that leads to a large detention and conservation area. The trail extends both north and south along the western border of the park, allowing for connection from the surrounding neighborhoods and other nearby parks. The park sign appears to be newer and is in good condition. The asphalt parking lot is in fair condition as various cracking and fading is visible. Large overhead power lines span over the practice soccer field and conservation area.

The small ball field, most likely for recreational use, is located off of the parking lot and features an older chain link backstop and fencing, two spectator bleachers, and surrounding asphalt pavement for the dugouts and seating areas. While older, the chain link backstop and fences are in good condition but the asphalt pavement matches the parking lot and is in fair condition. The practice soccer field net and



goal posts are in good condition. One picnic table is located near the parking lot in the middle of an open turf area without any paved access or any shade nearby. All receptacles have dated wooden enclosures and are in fair condition. The asphalt trail connects to a wooden bridge that spans over a small creek and three permanent benches are located along the trail. The trail and bridge appear to be in fair condition and require maintenance in the near future.

The plant material at this park is very minimal. The planting below the park's sign is very sparse and looks incomplete. Mature shade trees are planted along Buffalo Grove Road and the opposite side of the park consists of the large, overgrown forested areas near the conservation and detention areas. Very little planting exists beyond that and some newly planted trees are in need of pruning at the

base. Plant material of the conservation area along the asphalt trail is overgrown and needs to be trimmed back immediately to allow for unrestricted travel along this route.

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Conditions Assessment	
Curb Appeal	Good
Pedestrian Access	Good
Internal Access	Fair
Playground	N/A
Sand Play	N/A
Shelter	N/A
Toilets	N/A
Basketball Courts	N/A
Sitting Area	Fair
Ball Field	Good
Soccer Field	Good
Athletic Turf	Good
Lawns	Good
Landscaping	Fair
Paths/Trails	Fair
Parking	Fair
Park Sign	Good
Site Furnishings	Fair
Maintenance	Fair



Cooper Park

Address: 1050 Plum Grove Cr
Classification: School and Park
Status: Leased

Description

Cooper Park is located adjacent to Cooper Middle School in the Southwest corner of the Park District on Plumb Grove Circle at the intersection of Arlington Heights Road. The park space is made available through an intergovernmental agreement with School District #21. This 6 acre facility serves as one of the District's School/Park sites requiring dual-agency coordination regarding facility enhancements or redevelopment.

Cooper Park contains two ballfields, an open field space (detention area) that is used for youth soccer practice; pick up football game, picnicking etc., and asphalt paved parking lot. The parking lot is in fair condition and provides 72 spaces with 2 ADA parking stalls.

The site contains no internal paved path network. There is no accessible route to any of the recreation amenities (ballfields) or support facilities such as the port-o- johns. Two portable toilets are located on site near both ballfields with no accessible path



leading to either. Likewise, no ADA accessible portable washroom is provided.

The ballfields generally are in good condition. However, cow paths are evident in and around the spectator areas leading to both backstops. Generally the turf is good – clover patches were evident with only

minor weeds. There is evidence of temporary outfield fencing maintenance practices which need to be addressed. Neither ball field layout configuration faces optimal orientation but installed in the most space-efficient way possible given the existing site constraints and appears to be properly sized

for the intended use. The larger ball field has an overgrown burning bush hedge located in the outfield providing a safety concern both physically and visually. The ball field fencing and backstops are in fair to good condition. The fence fabric is mostly level and straight. However, there are a few areas where the “diamond” of the fabric extends beyond the top rail. Several fence posts are heaving.

The skinned infield is generally well maintained. There are a few areas where loose soil from the skinned areas has begun to build up at the circled edge creating a “lip” which will need to be addressed so these areas will not hold water from the skinned areas.

Spectator bleachers appear to be in good condition, though they are inaccessible. Other site furnishings consist of 55 gallon drum waste recepticle, player benches, and multiple bike racks clustered within the turf.

Conditions Assessment	
Curb Appeal	Excellent
Pedestrian Access	Poor
Internal Access	Poor
Playground	N/A
Sand Play	N/A
Shelter	N/A
Toilets	Good
Basketball Courts	N/A
Sitting Area	Very Good
Ball Field	Very Good
Soccer Field	N/A
Athletic Turf	Very Good
Lawns	Very Good
Landscaping	Very Good
Paths/Trails	Poor
Parking	N/A
Park Sign	Excellent
Site Furnishings	Fair
Maintenance	Very Good



Crossings Pond

Address: 1051 Fremont Way

Classification: Special Use

Status: Owned

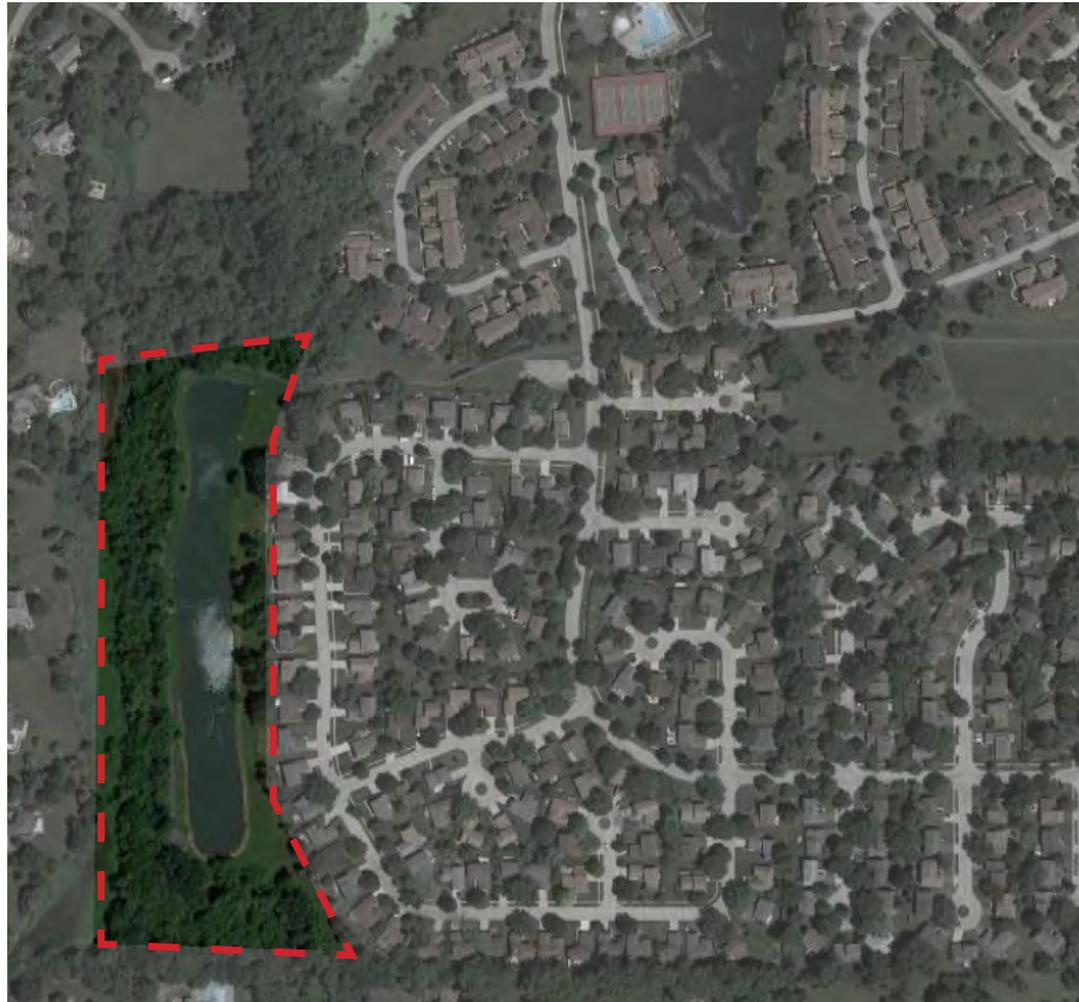
Description

Crossings Pond is a 10.9-acre neighborhood park located at 1051 Fremont Way. Access to Crossings Pond is via a narrow 500-ft long paved path from a 17-car parking lot on Fremont Way. The bulk of the park site is tucked behind the single-family residences along Shambliss Lane. The paved path extends the length of the 2.5 acre detention pond.

The pond appears to provide stormwater management for the adjacent residential development. A creek runs parallel to the pond along the north and west side of the pond. The creek is deep with severe side slopes. Access to the creek is limited by thick vegetation. The limited access prevents degradation of the slopes and erosion.

A trail is on the west side of the pond with a cul de sac at the south end. Trail users must back-track the same path should they choose to traverse the entire length of the pond.

The asphalt path does not circle the pond as the slopes on the east side of the pond are too severe to



accommodate a paved path.

There are several wood-chipped areas with rock-outcroppings along the trail providing limited access to the water for fishing or other passive activities. The water's edge is not accessible.

Buckthorn and honeysuckle dominate the vegetation to the west of the path. Both species are non native and can be invasive.

The pond's edge is naturalizing. The naturalization of the pond end can provide some deterrent to geese, as predators can hide, which threatens any geese landing or stopping on the water.

The parking area needs sealcoating and striping. There is no handicap accessible parking space or signage.

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The turf areas are well maintained and are relatively weed free. There are significant areas of Crossings Pond with the potential for naturalization or conversion from turf grass to a naturalized landscape to reduce turf maintenance requirements.

The park signage is small and is not consistent with the District's standard.

Conditions Assessment	
Curb Appeal	Poor
Pedestrian Access	Fair
Internal Access	Good
Playground	N/A
Sand Play	N/A
Shelter	N/A
Toilets	N/A
Basketball Courts	N/A
Sitting Area	Fair
Ball Field	N/A
Soccer Field	N/A
Athletic Turf	N/A
Lawns	Good
Landscaping	Fair
Paths/Trails	Good
Parking	Poor
Park Sign	Poor
Site Furnishings	Fair
Maintenance	Good



Emmerich Park West

Address: 150 Raupp Blvd

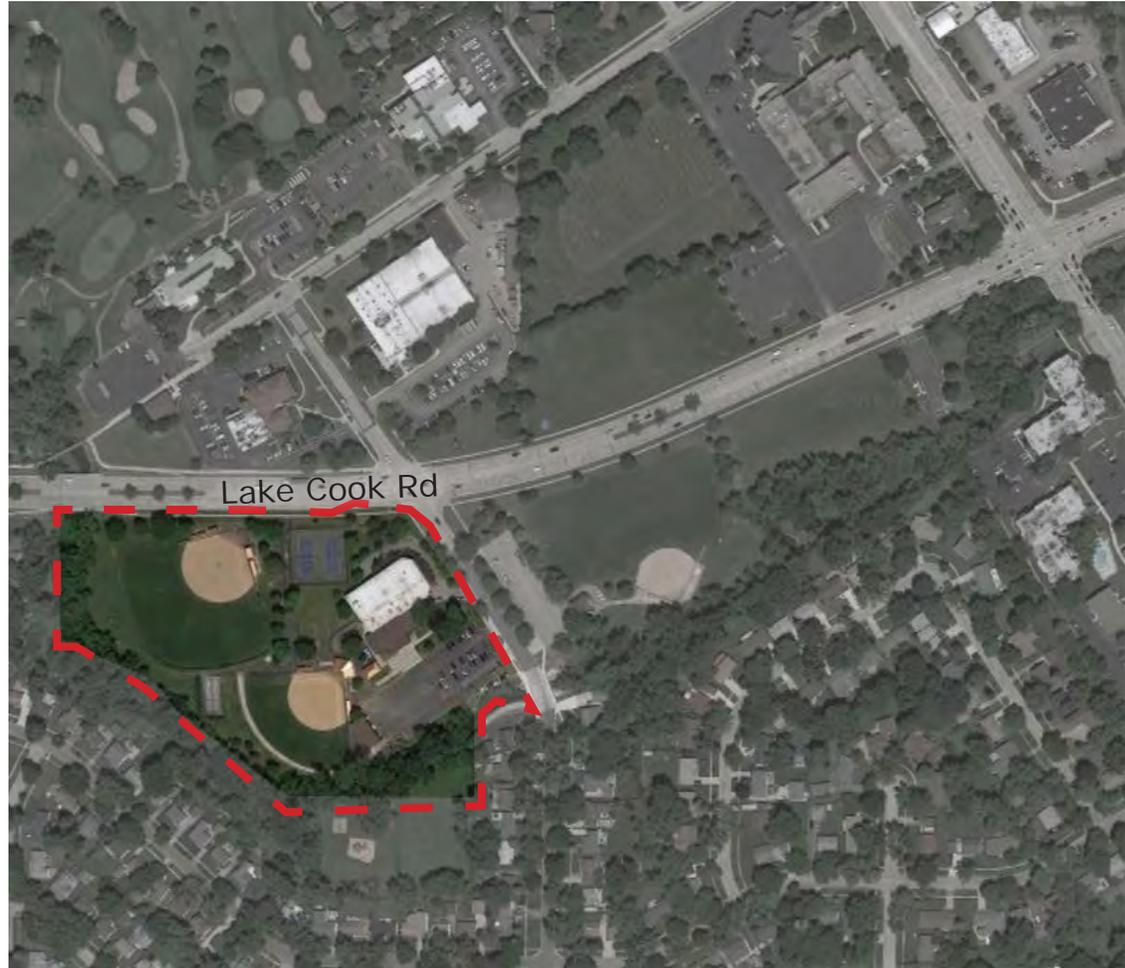
Classification: Community Park

Status: Owned

Description

Emmerich Park west is on half of a larger park and sports complex. Emmerich Park West is 13 acres containing a community center and maintenance building. A large parking lot serves both this park and the park to the east. The primary amenities in this portion of the park include softball and baseball fields that are lighted with enhanced spectator's area, batting cages, 2 tennis courts, drinking fountain, reservable shelter and large picnic deck. A playground for pre-school age 2-5 and concession area.

The ball fields are in excellent condition with typical end of season worn areas in the outfield. Protective fencing is in good condition and the spectators have elevated viewing area and covered shelter. The player dugouts are enclosed for safety. Future considerations may include the removal of the arched dome backstop and construction of a high vertical backstop to eliminate foul balls being projected back at the batters box area.



The permanent structures at the ball fields present a sense of quality and pride for the Park District and the users. Scoreboards are in good conditions.

Access to the park is good from neighborhoods and roadways. There appears to be ample parking on the site while the parking lots may need seal coating in the next few years. Bike parking is also available. The building has accessible ramps for all users.

The playground is in good condition and by Landscape Structures. The play structure is located close to the ball fields and seating area.

Pathways extend throughout the park providing good walking opportunities and seating for resting.

The overall vegetation on the property is in generally good condition.

Conditions Assessment	
Curb Appeal	Good
Pedestrian Access	Good
Internal Access	Fair
Playground	Good
Sand Play	N/A
Shelter	N/A
Toilets	Very Good
Basketball Courts	N/A
Sitting Area	Excellent
Ball Field	Excellent
Soccer Field	N/A
Athletic Turf	Very Good
Lawns	Very Good
Landscaping	Very Good
Paths/Trails	Very Good
Parking	Very Good
Park Sign	Excellent
Site Furnishings	Very Good
Maintenance	Excellent



Emmerich Park East

Address: 151 Raupp Blvd

Classification: Community Park

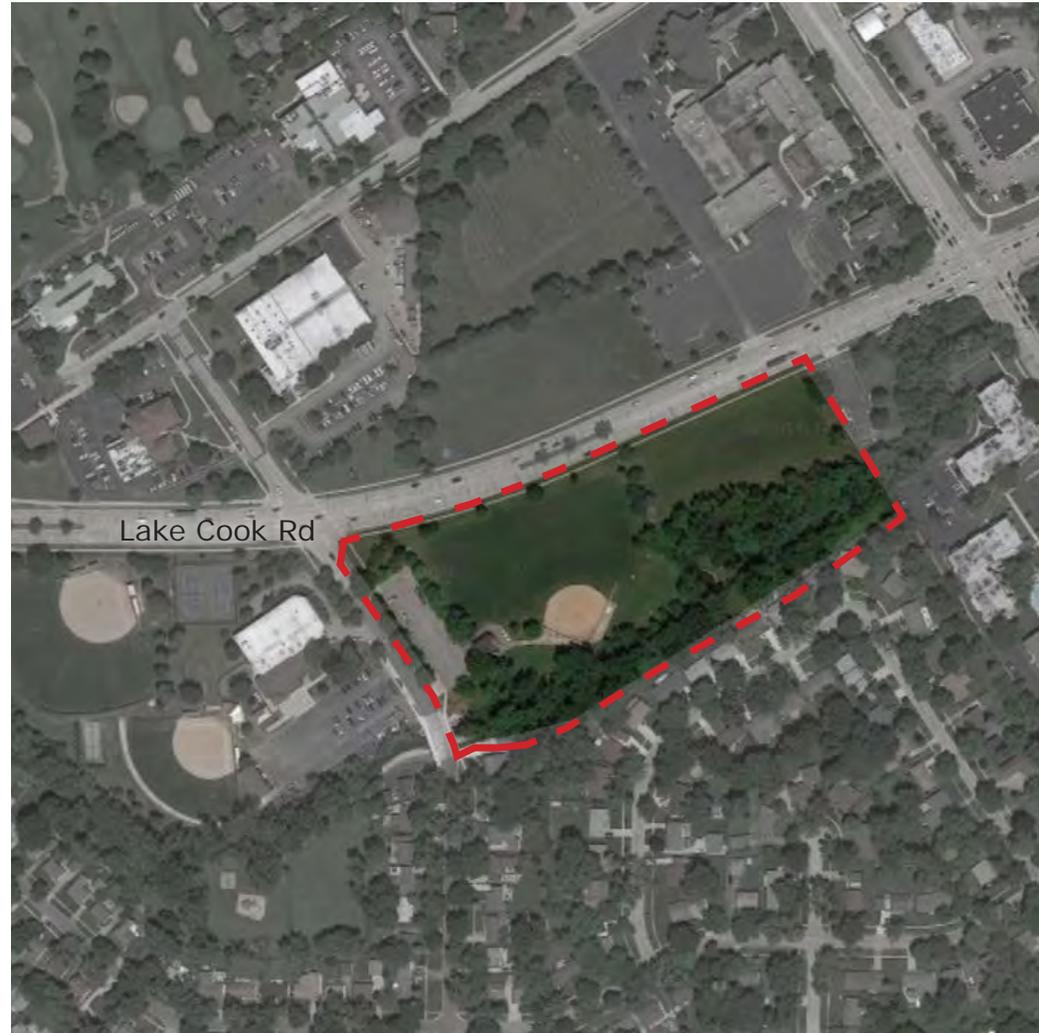
Status: Owned

Description

Emmerich Park East is separated from Emmerich Park West by Raupp Blvd. and has its own separate parking lot. There are areas of broken concrete that should be replaced. The park amenities include a dedicated football field, practice football field and one skinned infield ball field with fence at 110 feet.

The primary football field turf is in good condition. The secondary practice field has trees that encroach close to the play area. Buffalo Creek runs along the south side of the park. A tree risk evaluation could be conducted as several trees are noted to have dead and broken limbs. The far eastern end of the football fields has a new pump station constructed and land repairs were being made. Additional parking is available in this area. There is an area of cedar trees between the two football fields that are in poor condition and will most likely need to be removed in the coming years.

The skinned ball field has had several trees
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removed from the south side and replacement of these trees would be an enhancement. Due to typical field maintenance there is a lip forming at the infield dirt and outfield turf that should be monitored and corrected as needed.

An equipment and score keepers box/concession stand is adjacent the ball field. This structure is in generally good condition.

Conditions Assessment	
Curb Appeal	Very Good
Pedestrian Access	Very Good
Internal Access	Fair
Playground	N/A
Sand Play	N/A
Shelter	N/A
Toilets	Good
Basketball Courts	N/A
Sitting Area	N/A
Ball Field	Fair
Soccer Field	Very Good
Athletic Turf	Fair
Lawns	Good
Landscaping	Very Good
Paths/Trails	N/A
Parking	Very Good
Park Sign	Excellent
Site Furnishings	Very Good
Maintenance	Excellent



Frenchmens Cove

Address: 3351 N Carriageway Dr, Arlington Heights

Classification: Special Use

Status: Owned

Description

Frenchmens Cove is comprised of 4 acres and helps meet the field demand for soccer use within the community. The site is located within the Carriage Way Subdivision along Carriageway Drive.

The park consists of one soccer field. The soccer field is oriented in a north-south direction to minimize the effect of a setting sun on players. The use of this field is by permit only. The field turf is in poor to fair condition. No accessible walks or pathways to provide an accessible route for spectators. Additionally, no designated spectator areas are provided.

Site furnishings include 2 benches with no accessible surface provided.

No off-street parking is provided for park patrons. The parking needs are met by on street means only.

Adjacent to the soccer field is a dry bottom



stormwater detention basin. The detention area is used for soccer practice; pick up softball, or other unstructured recreation activities.

The site is boarded by mature trees and vegetation providing a good backdrop to the soccer field and sound buffer to the adjacent residences. Two dead trees need to be removed.

Conditions Assessment	
Curb Appeal	Good
Pedestrian Access	N/A
Internal Access	N/A
Playground	N/A
Sand Play	N/A
Shelter	N/A
Toilets	N/A
Basketball Courts	N/A
Sitting Area	Poor
Ball Field	N/A
Soccer Field	N/A
Athletic Turf	Poor/Fair
Lawns	Very Good
Landscaping	Excellent
Paths/Trails	Poor
Parking	N/A
Park Sign	Very Good
Site Furnishings	Path
Maintenance	Good



Green Lake Park

Address: 1101 N Green Knolls Dr

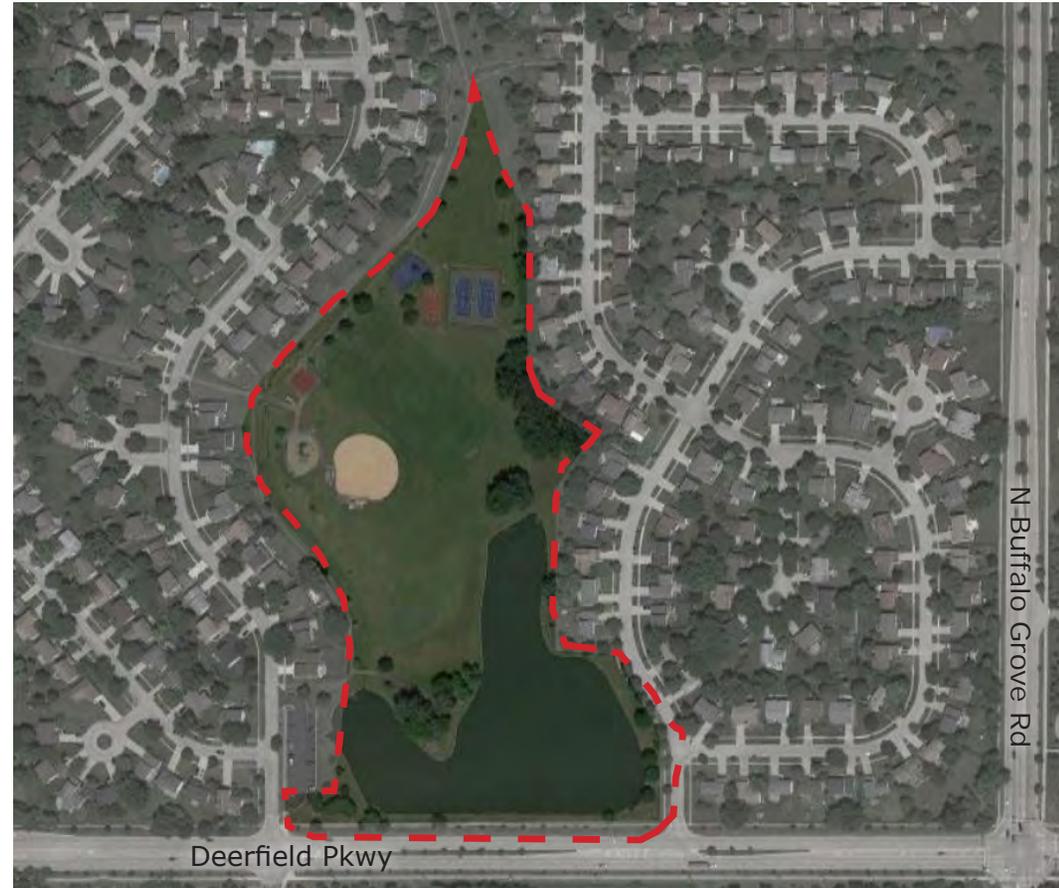
Classification: Community Park

Status: Owned

Description

Green Lake Park is a 20.00 acre community park north of Deerfield Road. The Mike Rylko Community park is located directly south on the other side of Deerfield Road. There is a large retention pond at the front of the park along Deerfield Road with a parking area that can be accessed from Green Knolls Drive. The remaining areas of the park are enclosed by the surrounding neighborhoods with an asphalt trail that leads to a ball field, a practice soccer fields, two tennis courts, one full basketball court, playground areas and a large open grass area. The distance between the parking area and these park elements is quite large but the parking lot appears to be intended to only serve the front pond area for fishing and the shaded seating areas.

The park's front signage is in very good condition. The asphalt paved parking lot appears to be newer and in good condition as well. The retention pond's water line is concrete which provides a very distinct edge. The connecting drainage channel from the north is shaped by concrete as well. Fishing is the



only water activity permitted within this pond. Signage is present prohibiting swimming, boating and ice skating. Picnic table seating is located underneath several mature trees close to the pond which provide shade, comfort, and various unique views of the water and surroundings. There is an asphalt path connection from the parking lot in good condition but there is an older metal receptacle beginning to rust. Various other seating options (picnic tables and benches) are located randomly around the pond but do not have any paved access or base beneath each feature. Additional asphalt paths provide connections

to various surrounding areas as well as to the north for the more active use areas. A metal and wood bridge, in good condition, spans the concrete drainage channel. All remaining paths are in good condition, beginning to show minor cracks and fading.

The ball fields appear to be for recreational/practice use only and the chain link backstop and fencing are in fair condition showing signs of rust. Two spectator bleachers are located behind each dugout and sit on asphalt pavement.

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The pavement is in good condition. The practice soccer area is located in the ball field's outfield and the soccer goals' nets and posts are all in good condition. This park features separate playground areas, the first being a multi-age Landscape Structures apparatus in good condition with poured in place rubber surfacing and is enclosed by the asphalt trail. A swing set with poured in place rubber, in good condition, is located nearby. A tot lot for 2-5 year olds is close by and is enclosed by a vinyl coated chain link fence. The equipment and fence are newer and in good condition. Two permanent benches and trash receptacles are provided within the enclosure, all in good condition, but lack shade. The two tennis courts' pavement is in very good condition, while the enclosing chain link fence is only in good condition as it is showing signs of rust. The nets appear to be sagging and need to be reset. The full basketball court is in fair condition due to significant pavement cracking, staining, and fading. The two basketball hoop posts are in fair condition, however both are beginning to rust and are not level. The hoops should be reset or replaced. Two irregularly shaped concrete benches are provided between the tennis and basketball ball courts and are in good condition.

Conditions Assessment	
Curb Appeal	Good
Pedestrian Access	Good
Internal Access	Very Good
Playground	Very Good
Sand Play	N/A
Shelter	N/A
Toilets	Fair
Basketball Courts	Fair
Sitting Area	Good
Ball Field	Fair
Soccer Field	Good
Athletic Turf	N/A
Lawns	Good
Landscaping	Good
Paths/Trails	Good
Parking	Good
Park Sign	Very Good
Site Furnishings	Good
Maintenance	Good



The plant material at Green Lake Park is mostly mature trees along the park's boundaries. Several mature trees are planted around the pond's edge and the large trees around the front seating area provide sufficient shade for guests. The plant material below the front sign is minimal and could be supplemented with lower shrubs and perennials to compliment the newer sign. Perennials and grasses flank the wood bridge and provide a good example of how to soften the pond's concrete edge and

drainage channel. There are turf in the ball field's outfield that are browned or damaged and need to be repaired. Turf for the practice soccer fields and all remaining areas appears to be well drained and in good condition.

Happy Tails Dog Park

Address: 835 Commerce Ct

Classification: Special Use

Status: Owned

Description

The 2.5 acre dog park is located at 835 Commerce Court at the south end of the Metra parking lot. There is little signage to direct users to the end of the lot. There is also no park sign at the end of the lot to signal arrival at the park. The park sign is on the fence, over six hundred feet from the parking lot. Access from the lot to the park is provided by the regional path.

The park welded wire mesh fence is in good condition. The fabric is taut and the posts are plumb and free of heaving. There are no gaps or breaches along the fence or gates.

The limestone screening path is in good condition. It is mostly free of weeds except along the edges. The path is well compacted and there are no areas of excessive wear or erosion.

Site furnishings include recycled plastic benches, shade shelters with integrated picnic tables, an information kiosk, a drinking fountain with dog



bowl, a separate hose bib, and plastic drum litter receptacles with lids. All furnishings are in good to very good condition.

Overall maintenance is good. The turf appears healthy with no areas of heavy wear though there is a moderate amount of weeds. There are several shrub beds throughout the park and all have weeds. Most are moderately weedy but some are nearly

completely covered in weeds. The bed at the south end is completely fenced off, which has likely contributed to its unkempt state. The corrugated drain from the hose bib has a portion exposed.

Conditions Assessment	
Curb Appeal	Fair
Pedestrian Access	Good
Internal Access	Good
Playground	N/A
Sand Play	N/A
Shelter	N/A
Toilets	N/A
Basketball Courts	N/A
Sitting Area	Good
Ball Field	N/A
Soccer Field	N/A
Athletic Turf	N/A
Lawns	Good
Landscaping	Good
Paths/Trails	Good
Parking	N/A
Park Sign	Fair
Site Furnishings	Good
Maintenance	Good



Highland Point Park/Detention

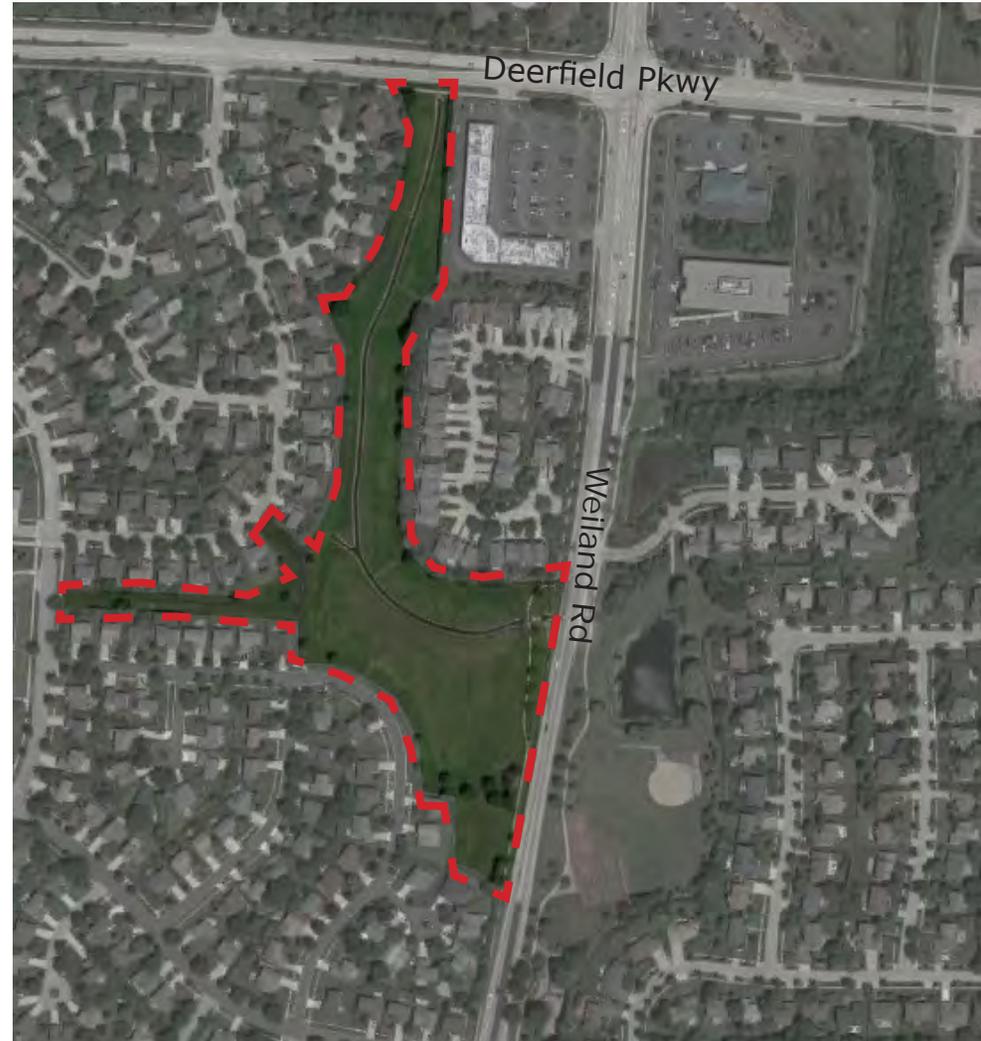
Address: 850 Weiland Rd

Classification: Detention/Open Space

Status: Owned

Description

Highland Point Park/ Detention is a 10.2 acre detention facility located at 850 Weiland Road. The only amenity offered at the site is the regional bike path. The path system provides access from all surrounding neighborhood and arterial streets. The condition of the path is very good; there are no major cracks or other flaws. The turf is in good condition with few weeds with the exception of the defined flow path at the bottom of the basin. The flow path is silted and bare. Landscaping consists of a few trees in good condition and the bed around the park sign. The bed is bare except for two shrubs and weeds that were treated. The park sign is in good condition and matches the district standard. While the sign is located on Weiland Road and the park has a Weiland Road address, there is no vehicular access on Weiland. There is no park identification on the neighborhood streets that border the park.



Conditions Assessment	
Curb Appeal	Good
Pedestrian Access	Good
Internal Access	Good
Playground	N/A
Sand Play	N/A
Shelter	N/A
Toilets	N/A
Basketball Courts	N/A
Sitting Area	N/A
Ball Field	N/A
Soccer Field	N/A
Athletic Turf	N/A
Lawns	Good
Landscaping	Good
Paths/Trails	Very Good
Parking	N/A
Park Sign	Good
Site Furnishings	N/A
Maintenance	Good



Ivy Hall School and Park

Address: 1072 Ivy Hall Ln

Classification: School and Park

Status: Owned

Description

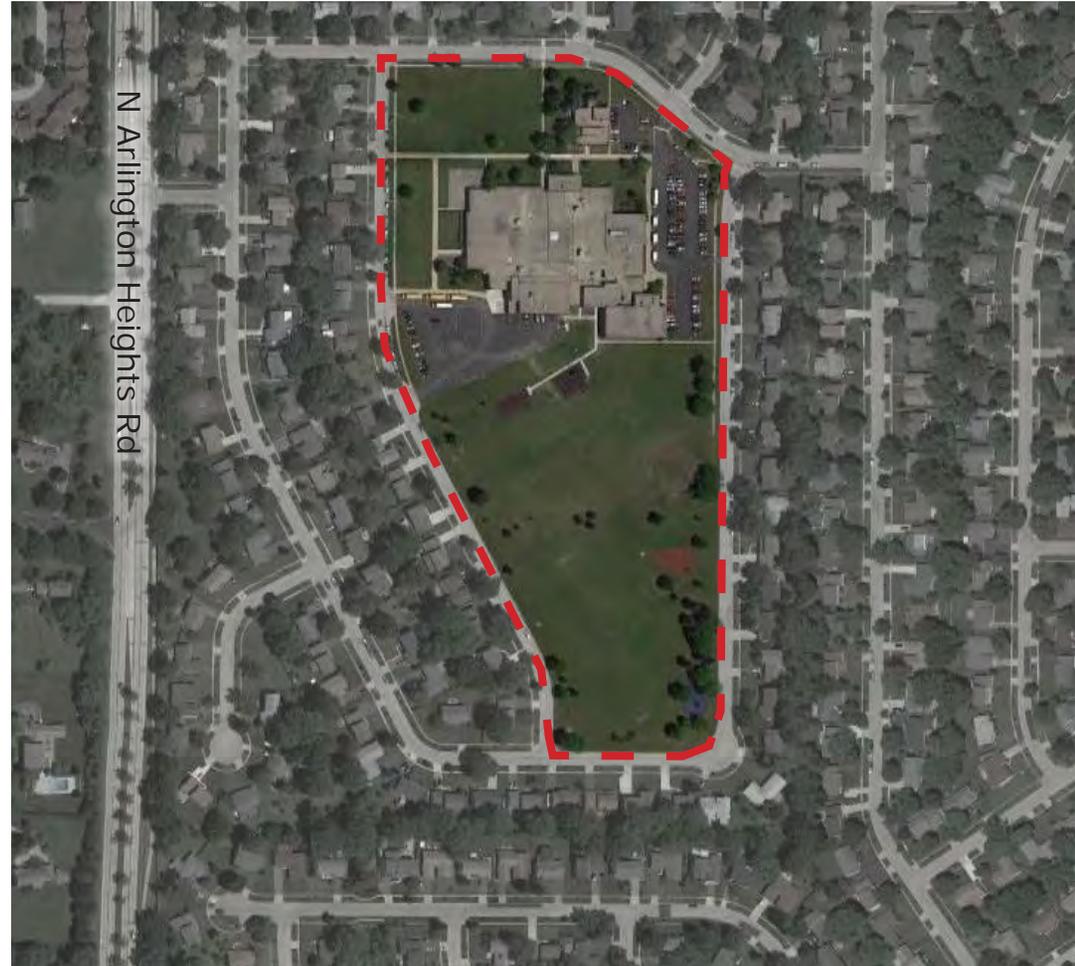
Ivy Hall School and Park is a 5.0 acre site at 1072 Ivy Hall Lane. Facilities include ball field, soccer goals, a 2-5 play area and a 5-12 play area. An abandoned horseshoe court and picnic table is located adjacent to the marquee sign.

Marquee sign is bare, needs perennial plantings to “finish” sign.

There are no accessible routes to the either the 2-5 or 5-12 play apparatus or the ball diamond. The diamond has a minimal backstop the infield appears abandoned. The poured-in-place rubber surface is in good condition.

The soccer field is sufficient to accommodate up to a U19 size field. The goal mouth areas are in good condition.

Turf is in good condition. General landscaping is fair to good. Trees need mulch rings to improve soil, preserve moisture, and improve mowing efficiency.



The park play apparatus is somewhat limited, however, the school provides significant play opportunities and generally meets the needs for play equipment.

Conditions Assessment	
Curb Appeal	Good
Pedestrian Access	Fair
Internal Access	Fair
Playground	Good
Sand Play	N/A
Shelter	N/A
Toilets	N/A
Basketball Courts	N/A
Sitting Area	N/A
Ball Field	Poor
Soccer Field	Good
Athletic Turf	N/A
Lawns	Good
Landscaping	Fair
Paths/Trails	N/A
Parking	Good
Park Sign	Fair
Site Furnishings	Fair
Maintenance	Good



Kilmer School and Park

Address: 655 Golfview Ter
Classification: School and Park
Status: Leased

Description

Kilmer Park is associated with Kilmer School and does have some shared land uses such as parking and play areas. The overall park is 8 acres and includes the amenities of a fenced baseball field with batting cages, basketball courts, playgrounds for a variety of age groups, tennis facility, fitness equipment, skate area and shelter and volleyball.

One of the District newer renovated parks Kilmer Park is in the southeast section of the Park District north of Dundee Road. The recently completed playground upgrade includes new play apparatus by Landscape Structures that blends both 2-5 age groups and 5-12 age play. The playground is contained on a poured-in-place surface.

Adjacent to the new playground is a permanent shelter structure and permanent bags game area. Lighted tennis courts separate the renovated park from the schools older playground to the north.

Five fitness station pieces of equipment are



located along the path adjacent to the south side of the tennis court and are centralized together with resilient surfacing.

Two grass volleyball court areas exist between the playground and the ballfields. The turf for the volleyball courts has not established well and should be over seeded to attain better coverage. The turf areas of the baseball field have significant worn areas and it is recommended have a regular turf replacement

program for the play fields.

An older small skate park is adjacent to the playground and has adequate separation and is in good condition providing a skate experience for younger users.

A new stormwater management area east of the playground is in the grow in phase and should be actively managed for establishment.

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Conditions Assessment	
Curb Appeal	Good
Pedestrian Access	Good
Internal Access	Good
Playground	Good
Sand Play	N/A
Shelter	N/A
Toilets	Good
Basketball Courts	Good
Sitting Area	Fair
Ball Field	Good
Soccer Field	N/A
Athletic Turf	Fair
Lawns	Good
Landscaping	Good
Paths/Trails	Good
Parking	Good
Park Sign	Good
Site Furnishings	N/A
Maintenance	Good



Lions Park

Address: 730 Weidner Rd

Classification: Detention/Open Space

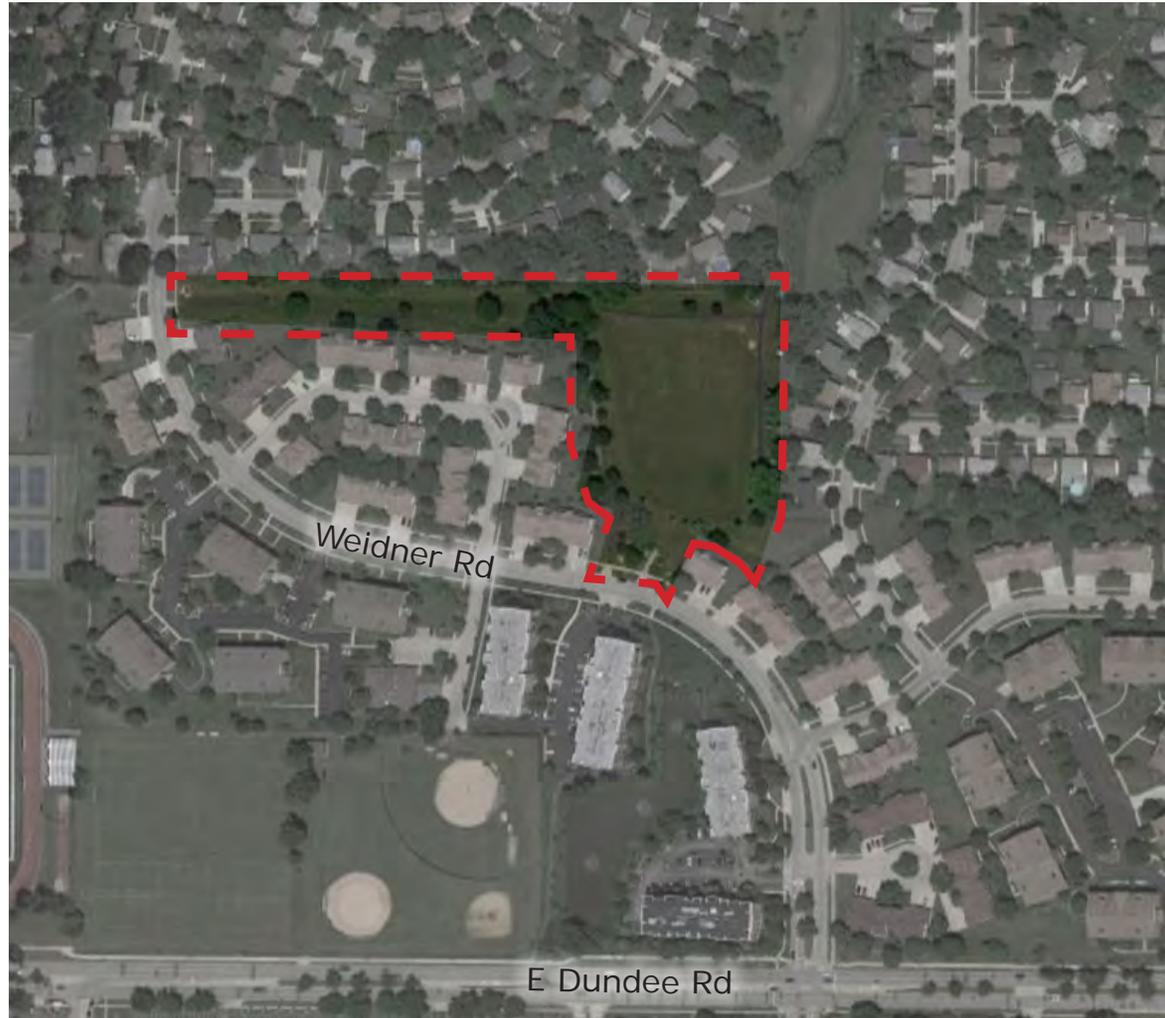
Status: Owned

Description

Lions Park is a 5-acre park located within several multi-family residential developments. The park has a significant public utility station also located near the entrance. A significant portion of the park acreage is stormwater detention that is mostly dry and turfed allowing for open play and soccer play. The park has walking paths that meander through the park. These pathways are in need of seal coating.

The western side of the park has many large mature trees and active forestry management is being done by the park district. This activity should be an ongoing procedure.

A significant feature of the park is a circular seating area near the front of the park. Originally designed to be lined with shrubs the plant material has become quite large and may present a security concern limiting visibility from the street.



The front entrance of the park has a nice park sign consistent with that of other parks in the system. This location has a good amount of landscape plantings around the sign, but could benefit from low ornamental landscape to add color and appeal to the park character.

Conditions Assessment	
Curb Appeal	Good
Pedestrian Access	Good
Internal Access	Good
Playground	N/A
Sand Play	N/A
Shelter	N/A
Toilets	N/A
Basketball Courts	N/A
Sitting Area	Good
Ball Field	N/A
Soccer Field	N/A
Athletic Turf	N/A
Lawns	N/A
Landscaping	Good
Paths/Trails	Good
Parking	N/A
Park Sign	Good
Site Furnishings	Good
Maintenance	Good



Longfellow School and Park

Address: 501 S Arlington Heights Rd

Classification: School and Park

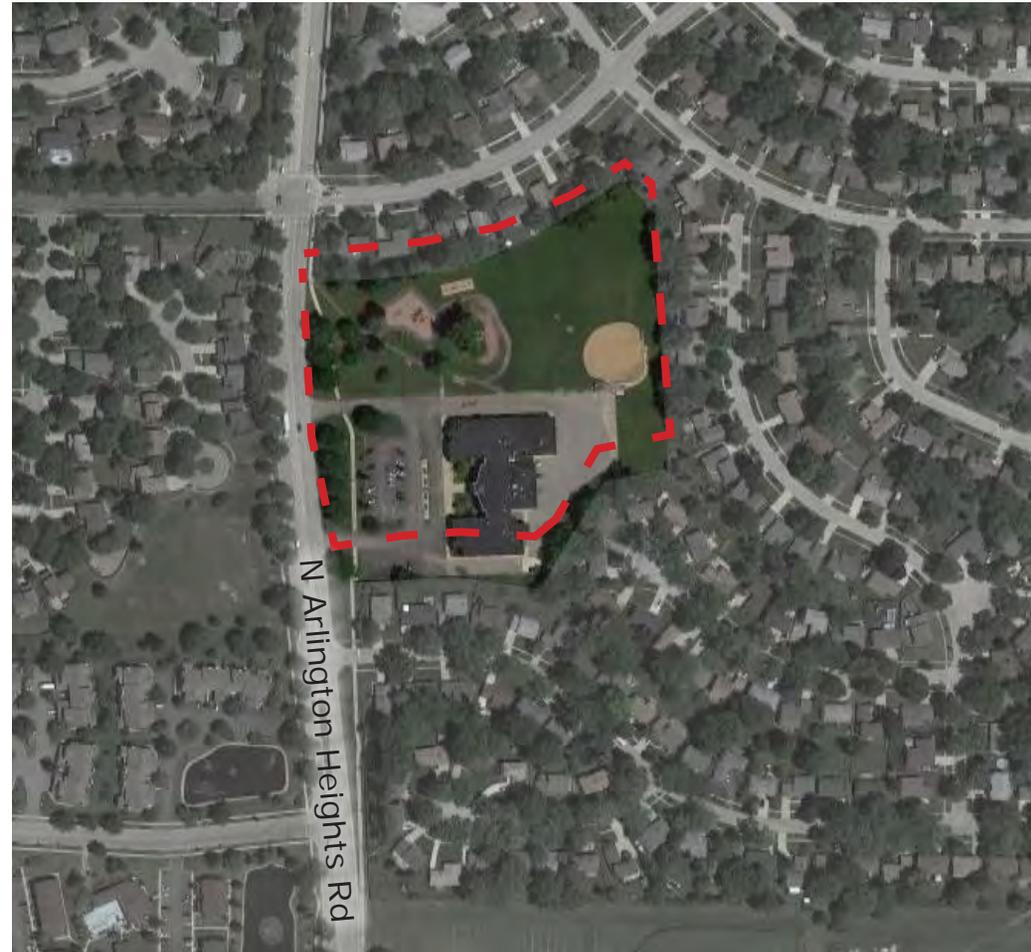
Status: Leased

Description

Longfellow Park is a 3.5-acre park located in the southwest corner of the Park District adjacent to Longfellow School on Arlington Heights Road. The park space is made available through an intergovernmental agreement with School District #21. The amenities include two creative play areas, workout/fitness training area, 3 half court basketball courts, one ball field, picnic area, walking pathways and parking lot. The parking lot is primarily used by school staff. However, the lot provides ample parking spaces for park patrons when needed. The parking surface is in fair condition.

Two playground areas exist within the park – a preschool structure by Miracle, and a school age structure by Landscape Structures.

The preschool playground area includes a composite play structure and an independent swingset. The apparatus itself appears to have been installed more than 15 years ago, exceeding its useful life with evidence of fading or peeling of



the finish. The swing set includes 2 bucket swings and 2 belt swings. The woodchips of the playground are contained by the adjacent asphalt pathway. The School-age playground area consists of a large composite play structure with multiple levels and decks. The structure is in good condition. No age-appropriate signage was evident at either structure to direct park patrons as to the intended users. There is no definitive playground edge or containment curb surrounding the apparatus as turf has begun to migrate into the play space. The woodchip level in both areas is inadequate as weed growth and turf

migration is evident. Additionally, there is no paved access into either playground area to meet accessibility requirements.

The workout/fitness training area appears to be relatively new. The training equipment was manufactured by Tri American and is in good condition. The equipment is set in woodchip surfacing with no containment boarder. With no clear defined barrier, the adjacent turf will migrate into this area

unless maintained.

The asphalt walkways and paths are in good condition and appear to be used as accessible surface pads for picnicking. There is no defined picnic space on the site, however, tables are located randomly in the center of the walkways and highly utilized.

The basketball court area is located within the parking lot. Three basketball standards exist with little to no color coat surface remaining. The goal frames and nets need to be removed and replaced.

The ball field is located on the extreme east end of the site. The ball field layout configuration does not face optimal orientation but installed in the most space-efficient way possible given the existing site constraints and appears to be properly sized for the intended use. It is important to note, the outfield area of the ball field is adjacent to the school age playground area. Spectator bleachers are structurally good, though they are inaccessible.

Generally the turf is good – clover patches were evident with only minor weeds. There are a few areas within the outfield in need of repair. The ball field fencing and backstops are in fair to good condition. Several fence posts are heaving.

The skinned infield is generally well maintained. The skinned area appears to be contoured to allow for positive drainage and runoff.

Other site furnishings consist of picnic tables, litter receptacles, benches, bike rack, and

Conditions Assessment	
Curb Appeal	Good
Pedestrian Access	Good
Internal Access	Good
Playground	Good
Sand Play	N/A
Shelter	N/A
Toilets	Good
Basketball Courts	Fair
Sitting Area	Fair
Ball Field	Very Good
Soccer Field	N/A
Athletic Turf	Good
Lawns	Good
Landscaping	Good
Paths/Trails	Good
Parking	Fair
Park Sign	Good
Site Furnishings	Fair
Maintenance	Good

a portable restroom. The bike racks are located at the perimeter-entrances of the park and not necessarily in the vicinity of the playground areas. Benches are in good condition. They are set in turf and not accessible to all park users.

The portable restroom is located near the ball field and not near the playground areas.



Martha Weiss Park

Address: 815 Kingsbridge Way

Classification: Mini Park

Status: Owned

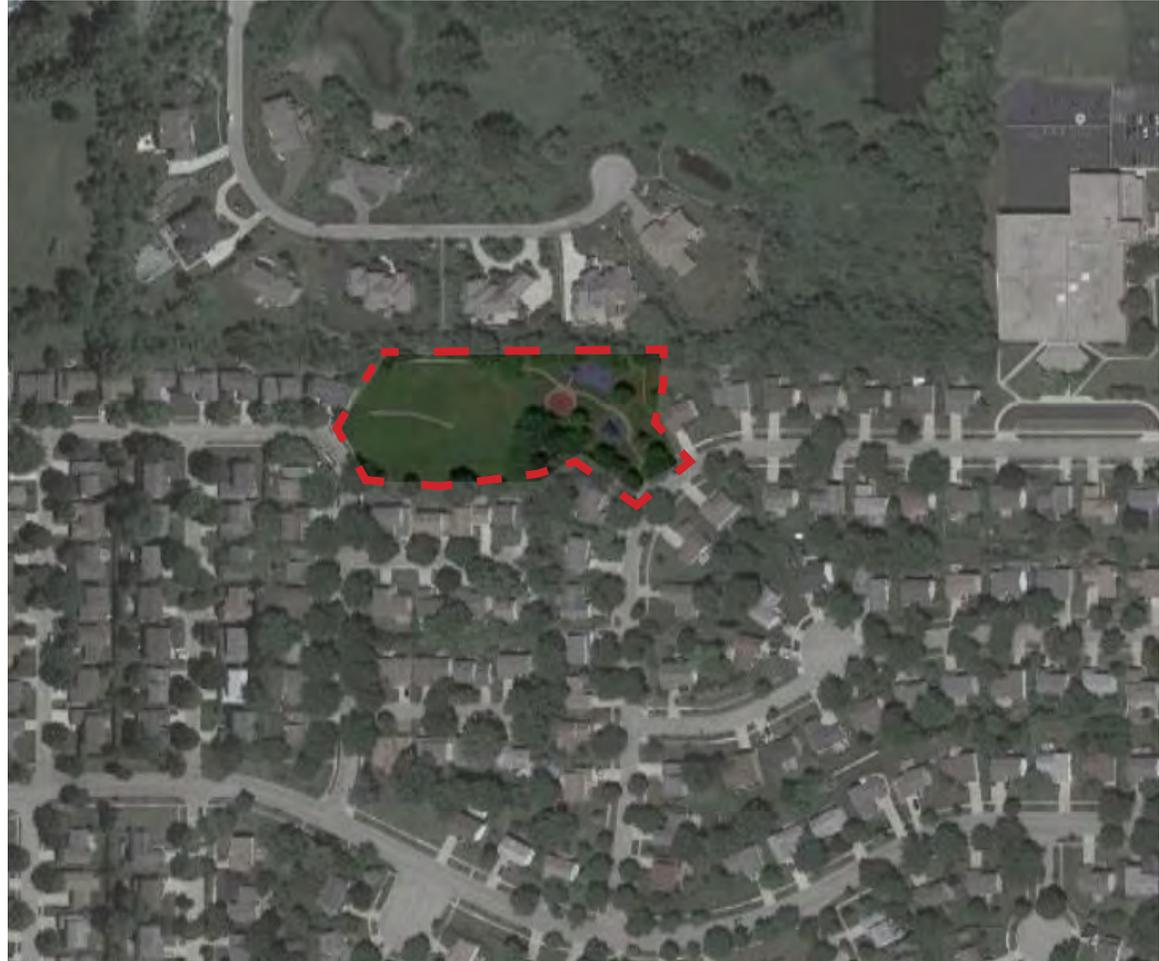
Description

Martha Weiss Park is a 0.75-acre park located at 815 Kingsbridge Way. Access to the park is from an asphalt walk off the public sidewalk. Behind the park is a stormwater detention basin. The path from Kingsbridge Way into the park passes through the park and connects to Knollwood Drive. This connecting path provides residents to the southwest of the park access to the play equipment.

The play equipment is in three pods, one for 2-5 age children, one for 5-12 age children, and the third with a swing set with a bucket swing and an accessible swing. In addition to the play apparatus the 5-12 age pod includes a climbing wall.

All the equipment is in good condition. Some of the colors have faded, which is typical of the red play equipment.

The play areas are poured in place rubber surfaces that is in good condition except at the end of the slides, where the surface is beginning to delaminate and peel off.



The turf area is in good condition. The asphalt pathway was recently seal coated.

The park has above average curb appeal and pedestrian access when approached from Kingsbridge Way. Overall site furnishings are below average, since only a backless bench is provided at the 2-5 age play area. Landscape at the District standard marquee sign is good. The signage is visible from the street and identifies the park as a Buffalo Grove Park District facility.

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Conditions Assessment	
Curb Appeal	Good
Pedestrian Access	Good
Internal Access	Good
Playground	Good
Sand Play	N/A
Shelter	N/A
Toilets	N/A
Basketball Courts	N/A
Sitting Area	N/A
Ball Field	N/A
Soccer Field	N/A
Athletic Turf	N/A
Lawns	Good
Landscaping	Good
Paths/Trails	Good
Parking	N/A
Park Sign	Good
Site Furnishings	Fair
Maintenance	Good



Mike Rylko Community Park

Address: 1000 N Buffalo Grove Rd

Classification: Community Park

Status: Owned

Description

Mike Rylko Community Park is one portion of a 76.50 acre group of four separate parks connected by a system of asphalt trails. The community park at 1000 N. Buffalo Grove road features one full and two half basketball courts, two sand volleyball courts, a large practice soccer area, one in-line hockey/skating rink, one BMX and one skate park. The park features a multi-use building and has a covered picnic area with a capacity of 32 people, vending machines, a drinking fountain, public restrooms and space used for storage of maintenance equipment.

The park's sign at the entrance from Buffalo Grove Road is in poor condition as the graphic has begun to peel away. The large asphalt parking area is in fair condition with several cracks visible throughout. The main asphalt path along Buffalo Grove is wide enough to accommodate two-way bicycle/pedestrian traffic and is in excellent shape with proper striping to designate direction. The route also features wayfinding signage in good condition. The connecting asphalt trails are in good condition, are wide enough to accommodate maintenance

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equipment and feature several permanent benches along the routes. The basketball court area is fenced in but has asphalt pavement in fair condition with cracking shown throughout. The basketball hoops themselves appear to be in good condition. The sand volleyball court areas are in good condition with a good amount of sand essential for play but the nets and poles appear to be older and in need of repair/replacement. The non-striped soccer

field is a very large lawn area and looks to be well-drained. The main attractions to this park are the skate and BMX parks as they showed a consistently high usage during the evaluation process. Each is completely enclosed and separated from one another by 10-foot high fencing. The in-line rink for rollerblading and hockey is surrounded by fencing as well and all three areas appear to be in very good condition

Comprehensive Master Plan 2017

with regular maintenance.

The landscaping at this park consists of a variety of mature vegetation along the perimeter of the space. The plant material around the building and other park elements is lacking and in overall fair condition due to lack of visual interest. The turf areas show prominent browning and are in fair condition as well. Existing taller tree groupings and native vegetation serve as a buffer to the surroundings and provide some shade along the asphalt trails. The plant material at the park's entry signage is minimal and in fair condition.

Conditions Assessment	
Curb Appeal	Good
Pedestrian Access	Good
Internal Access	Good
Playground	N/A
Sand Play	N/A
Shelter	Good
Toilets	Good
Basketball Courts	Fair
Sitting Area	Good
Ball Field	N/A
Soccer Field	Good
Athletic Turf	Good
Lawns	Fair
Landscaping	Fair
Paths/Trails	Good
Parking	Fair
Park Sign	Poor
Site Furnishings	Good
Maintenance	Good



Golf and Sports Center

Address: 801 McHenry Rd

Classification: Neighborhood Park

Status: Owned

Description

Another portion of the connected parks is the Golf and Sports Center which features a large indoor golf practice facility, two lit softball fields, a newer playground area and a large parking lot for the two activities. The previously mentioned asphalt trail, which is in very good condition, links this portion to the Community Park to the north. The park's sign at the entrance appears to be newer and in excellent condition with surrounding foundation planting below.

The site consists of two specific programs: an indoor golf practice facility and softball. The softball fields feature a covered seating area with room for up to 20 people, vending machines and plenty of bleacher seating. The asphalt paving between the fields and around the shelter appears older and is in fair condition. The fields themselves consist of all dirt infields in excellent condition. The fields have protective backstops, chain link fencing, protective netting and two covered dugouts per field. The outfield fencing also features protective netting and



a digital scoreboard for each field. The parking lot is in overall good condition, with minor cracking, but displays several dirt tracks and piles from maintenance vehicles.

The golf and sports center is bordered by existing forest and native grasses which serve as a buffer between this site and the community park to the north. Two large, raised planters made of concrete blocks are located near the softball fields with several large shrubs planted within. Both planters have large mulch areas that are unplanted mulch

areas around the perimeter. The mulch appears to be very thin and in need of replacement or additional mulch. Aside from that and the existing forested areas, the park exhibits very minimal landscape plantings around the softball fields and golf facility. Signage at the park's entry is in good condition. Tall grasses make up the majority of the large area between the parking lot and McHenry Road and serve as a visual buffer.

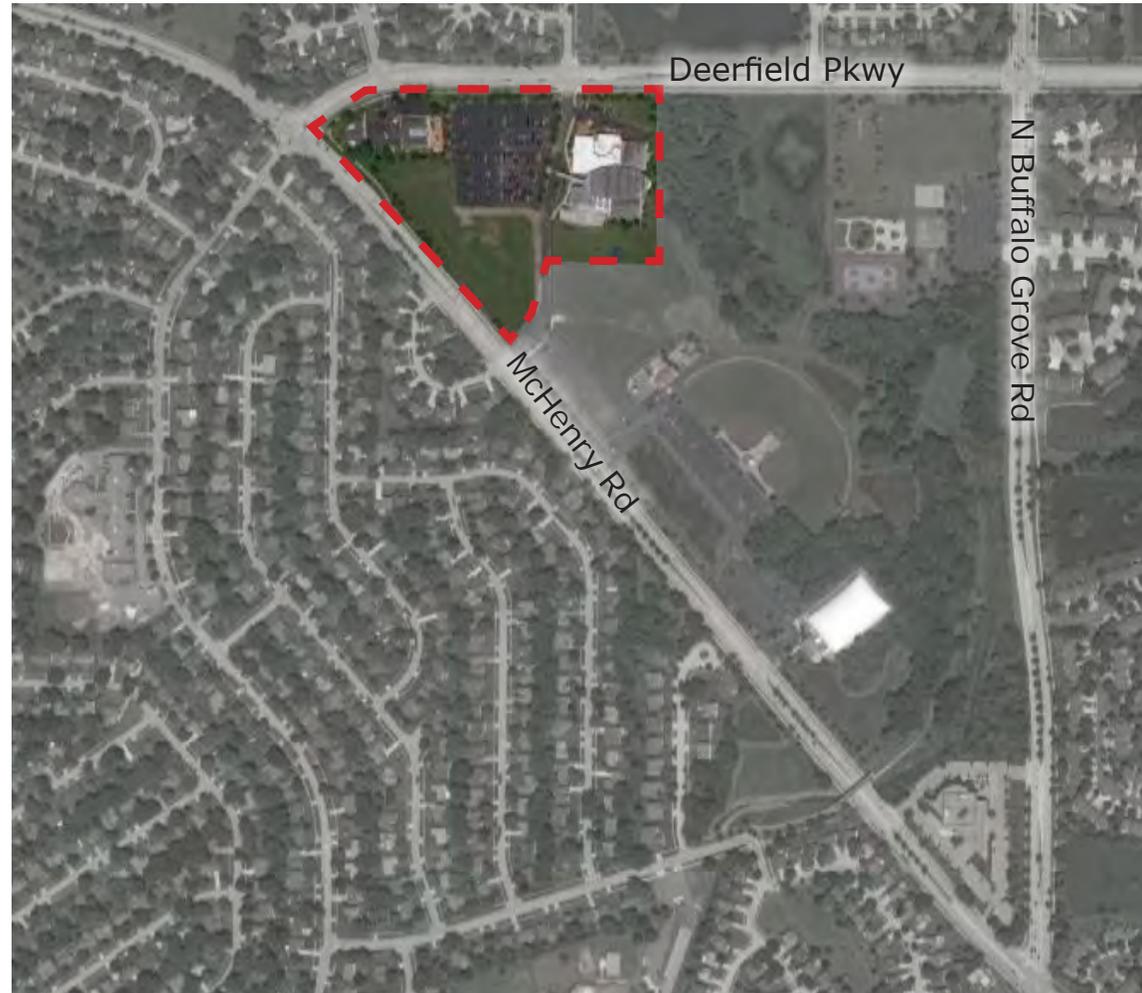
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Conditions Assessment	
Curb Appeal	Good
Pedestrian Access	Good
Internal Access	Good
Playground	Good
Sand Play	N/A
Shelter	Good
Toilets	Very Good
Basketball Courts	N/A
Sitting Area	Good
Ball Field	Excellent
Soccer Field	N/A
Athletic Turf	Good
Lawns	Good
Landscaping	Good
Paths/Trails	Fair
Parking	Good
Park Sign	Good
Site Furnishings	Good
Maintenance	Good



Fitness Center

Address: 601 Deerfield Pkwy
Classification: Community Park
Status: Owned



Description

The Fitness Center is located at the northwest portion of the connected parks at the corner of McHenry Road and Deerfield Parkway. The site is a newer looking fitness center with a large parking lot to accommodate high level of use. The fitness center signage is in very good condition but the parking lot as a whole is in fair condition, showing several prominent cracks and is need of repair. The asphalt trail continues to connect this facility to all other parks of this area and is in very good condition. A smaller playground area is visible from the outside but is completely enclosed by ornamental fencing. The only access to the playground appears to be from inside the fitness center. The playground equipment is in good condition.

The fitness center is surrounded by large turf areas, some of which display significant browning. Another large portion appears to serve as a drainage way as the turf here is very patchy and has been taken over by a large quantity of weeds. Plant material around the facility and within the parking

lot is minimal with very thin layers of mulch at all plant beds. The sparse planting that is here provides very little visual interest and appears to be in generally good condition. The all white light poles and fixtures here look dated and seem out of place.

Conditions Assessment	
Curb Appeal	Good
Pedestrian Access	Good
Internal Access	Good
Playground	N/A
Sand Play	N/A
Shelter	N/A
Toilets	N/A
Basketball Courts	NA
Sitting Area	N/A
Ball Field	N/A
Soccer Field	N/A
Athletic Turf	N/A
Lawns	Fair
Landscaping	Good
Paths/Trails	Very Good
Parking	Fair
Park Sign	Very Good
Site Furnishings	Good
Maintenance	Good



Spray N Play

Address: 951 McHenry Rd

Classification: Community Park

Status: Owned

Description

The Spray 'N Play is a large splash pad west of the Golf and Sports Complex and shares the large parking lot along McHenry Road. The Spray 'N Play is entirely enclosed by 6 foot tall black ornamental fence with alternating evergreen plantings on the exterior which serves as a visual buffer. The water play equipment all looks to be newer and in very good condition. The main entry for the Spray 'N Play is through a clubhouse adjacent to the parking lot with concessions and locker/changing rooms on the inside. Public restrooms, drinking fountains and vending machines are accessible from outside of the gates.

A large playground for various age groups is located between the clubhouse and softball fields to the east. The playground equipment appears to be newer and in excellent condition. Poured in place rubber surfacing with concrete edging for all play equipment is in excellent condition. Plant material around the area is very minimal. A large open turf area separates the Spray 'N Play facility



from the Fitness Center to the west, with most of the turf areas at this location beginning to brown.

Conditions Assessment	
Curb Appeal	Good
Pedestrian Access	Good
Internal Access	Good
Playground	Good
Sand Play	N/A
Shelter	N/A
Toilets	Good
Basketball Courts	N/A
Sitting Area	Good
Ball Field	N/A
Soccer Field	N/A
Athletic Turf	N/A
Lawns	Fair
Landscaping	Fair
Paths/Trails	Good
Parking	Good
Park Sign	Good
Site Furnishings	Good
Maintenance	Good



Mill Creek Park

Address: 1350 Radcliffe Rd

Classification: Neighborhood Park

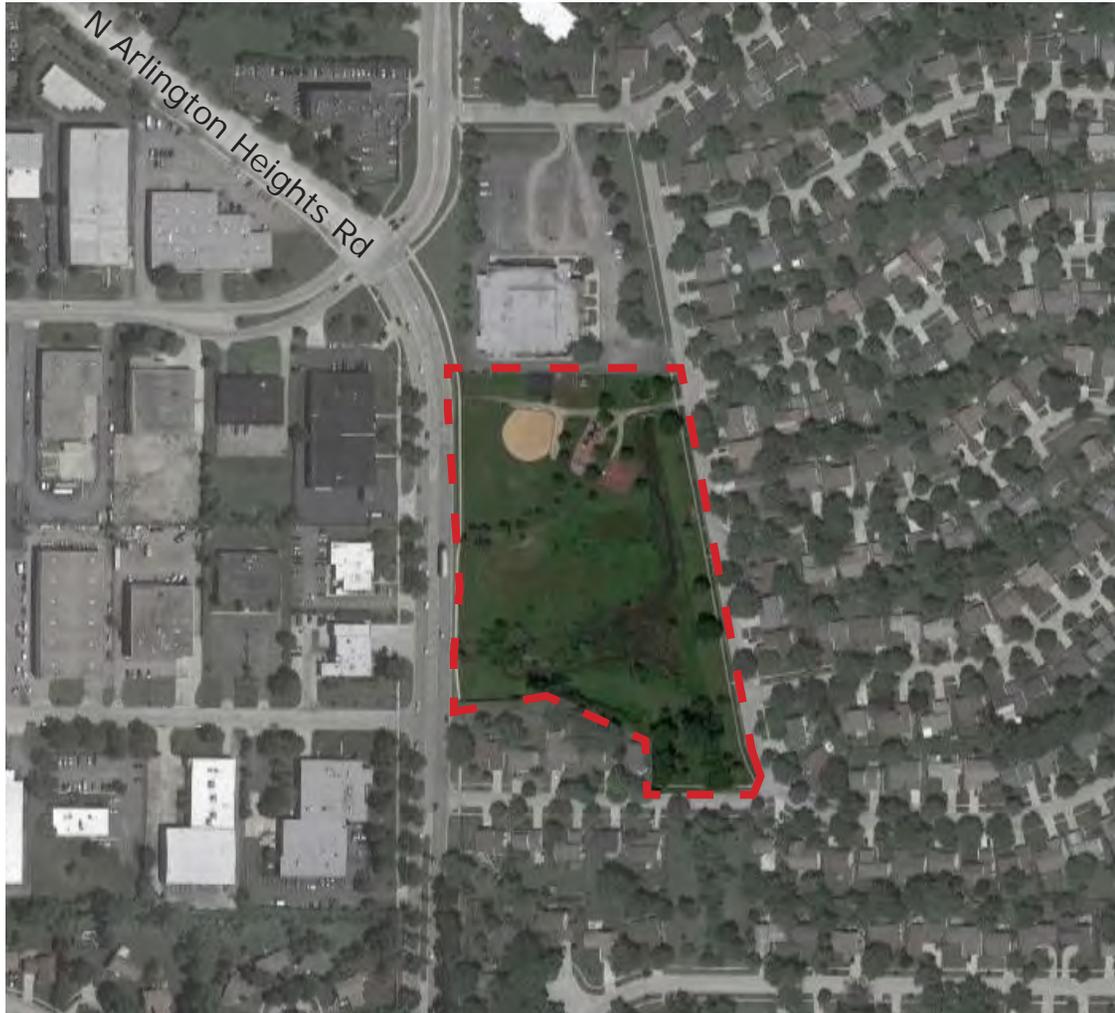
Status: Owned

Description

Mill Creek Park is a 7-acre park located within the Mill Creek Subdivision on Radcliffe Road. Park amenities include an accessible playground, basketball court, ball field and naturalized detention basin.

The playground area includes an accessible composite play structure and independent spring toys. The apparatus itself appears to have been installed more than 15 years ago, exceeding its useful life with evidence of fading and peeling of the finish. The woodchips of the playground are contained by a concrete barrier curb which is in good condition. The woodchips are weed-free and at an adequate safety depth, though they have lost resiliency and feel very firm. The adjacent turf elevation should equal the top of the curb elevation.

The basketball court appears to be in poor condition and in need of replacement. There is evidence of cracking on the court surface and the color coat has lost its vibrancy. The basketball standards appear to be in fair condition.



The ball field is located north and west of the site. The ball field layout configuration does not face optimal orientation but is installed in the most space-efficient way possible given the existing site constraints and appears to be properly sized for the intended use. It is important to note, the outfield area of the ball field is adjacent to Arlington Heights Road. The ball field has a very short Right Field. Spectator bleachers appear in good condition, and accessible by the paved pathway that runs

east and west through the site. Generally the outfield turf is good. The ball field fencing and backstops are in fair to good condition.

The skinned infield is generally well maintained. The skinned area appears to be contoured to allow for positive drainage and runoff.

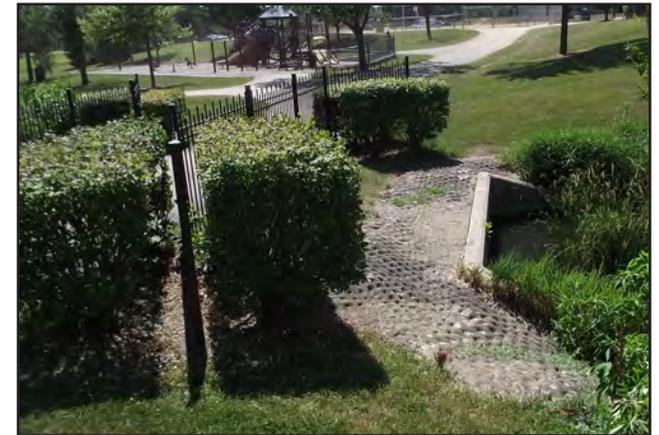
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Site amenities consist of benches and tables which are not served by an accessible pathway.

The parks entry walk is in need of repair – the site’s main access is a paved surface area flanked by ornamental iron fencing with pickets over a water channel. Some erosion has occurred along the banks and in need of repair.

The landscaping is in good condition and has been maintained very well. There is one dead tree in need of replacement.

Conditions Assessment	
Curb Appeal	Good
Pedestrian Access	Fair
Internal Access	Good
Playground	Good
Sand Play	N/A
Shelter	N/A
Toilets	N/A
Basketball Courts	Poor
Sitting Area	Fair
Ball Field	Good
Soccer Field	N/A
Athletic Turf	Good
Lawns	Good
Landscaping	Good
Paths/Trails	Very good
Parking	Poor
Park Sign	Excellent
Site Furnishings	Fair
Wayfinding	N/A
Maintenance	Good



Mirielle Park

Address: 2236 Avalan Dr

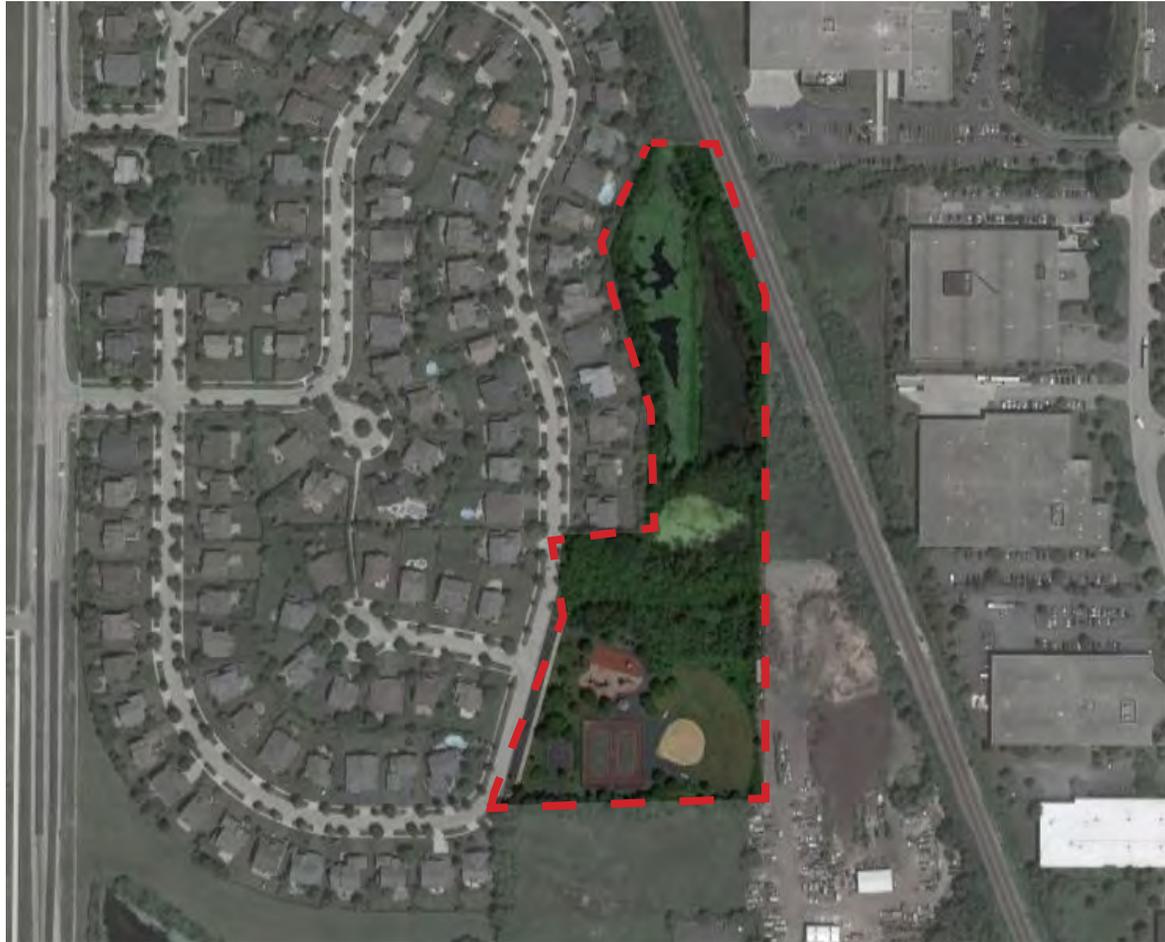
Classification: Neighborhood Park

Status: Owned

Description

Mirielle Park is a 2.93-acre neighborhood park located between a surrounding neighborhood and the nearby Rolling Hills Nursery. The park features parking for the nearby community, a small sheltered seating area, playground area, ball field, one basketball half court and two tennis courts. An asphalt path connects all areas and encloses most of the park's main elements.

The sign at the park's main entrance from the parking area is painted wood and is in good condition. The asphalt parking lot and paths within the park all appear to be the same age and in very good condition with minimal fading and cracking present. The paths are wide enough for multi-use, pedestrian and bicycle traffic, and to accommodate maintenance vehicles. Several permanent benches are located along the asphalt path and all appear to be in good condition. A concrete walkway that runs along the back of the parking lot curb connects to the surrounding neighborhood's sidewalks is in good condition as well. The sheltered picnic area in



the middle of the park has seating for up to 16 people with checkerboards permanently attached to each picnic table, two per table. The playground area consists of two separate areas, one for school age and one for pre-school age. The pre-school age equipment has poured in place rubber surfacing below while the school age equipment's surfacing is mulch. All equipment is by Landscape Structures and appears to be in very good condition. Two tennis courts are located south of the sheltered picnic area. The courts are enclosed by chain link fencing and all nets, posts, fencing and court

surfacing are in good condition overall. The ballfields located east of the tennis courts are presumably for recreational use only as the chain link fencing and backstop appear older but in good condition. A small chain link fence acts as the outfield wall and provides a clear boundary for the park's eastern border. Small metal spectator bleachers are located behind each dugout and are in good condition. One basketball half court is located west of the tennis courts and all elements here,

hoop, surfacing and striping are in very good condition.

The plant material within Mirielle Park is minimal as the park's north and southern borders are heavily vegetated with mature woodlands. The eastern edge of the park is slightly vegetated as well with Rolling Hills Nursery spanning the entire border. The heavily forested edges provide a sense of enclosure within the park. Medium to large size trees and shrubs make up the interior of the park and provide moderate shade to different areas. Hedge shrubs are planted as an attempt to screen the tennis court fencing and evergreen trees are planted as a buffer between the basketball and tennis courts. The plant material of this park is in overall good condition however the park features several poorly defined mulch and plant bed areas in fair condition. Several weeds are present around the base of the tennis court fencing. All turf areas of the park appear to be dry but are in overall good condition with minimal dead or patchy areas present.

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Conditions Assessment	
Curb Appeal	Good
Pedestrian Access	Good
Internal Access	Good
Playground	Very Good
Sand Play	N/A
Shelter	N/A
Toilets	N/A
Basketball Courts	Good
Sitting Area	Good
Ball Field	Good
Soccer Field	N/A
Athletic Turf	N/A
Lawns	Good
Landscaping	Good
Paths/Trails	Very Good
Parking	Very Good
Park Sign	Good
Site Furnishings	Very Good
Maintenance	Good



Nicole Park/Site 21

Address: 501 N Arlington Heights Rd

Classification: Neighborhood Park

Status: Owned

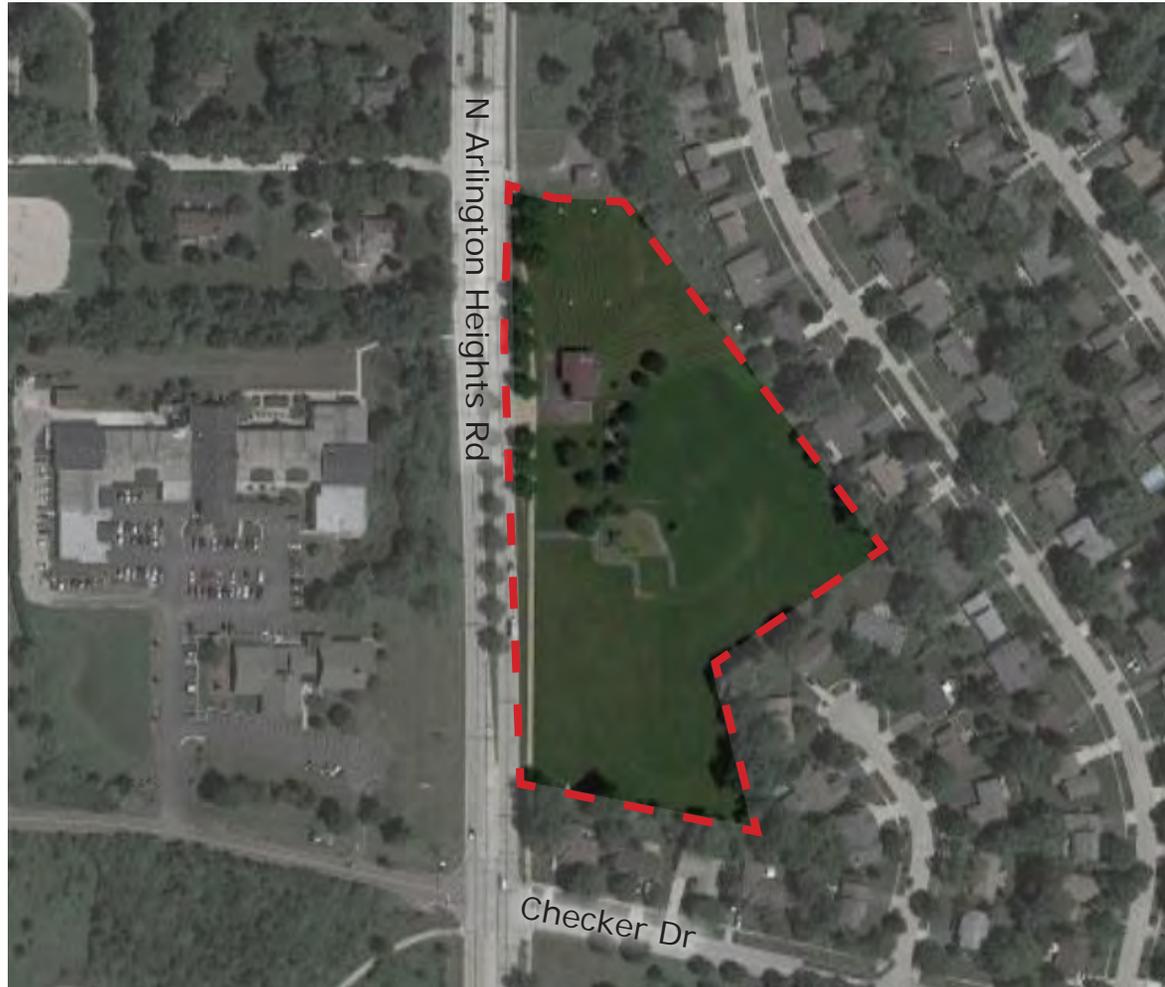
Description

Nicole Park is a 4.0 acre site at 501 North Arlington Heights Road. The park includes a play area that is accessible from the public walk along Arlington Heights Road. There is no on street parking along Arlington Heights Road, so parking is only available at the well house. Arlington Heights Road adjacent to Nicole Park is a boulevard, which makes access from the north very difficult.

Marquee park signage and site furnishings are old and not consistent with most other District signage or furnishings.

Play equipment accommodates 5-12 age group is in good condition. The play surface is poured in place rubber that is in good condition. Asphalt path adjacent to play area provides accessible route to play equipment from walk along Arlington Heights Road.

The south and east borders of the park are single family residences which restrict access from areas east of the park and east of Arbor Gate Lane.



Existing plantings and landscaping of area between road and park area are overgrown and in need of renovation. Some plantings are dead and should be replaced.

Pathway surrounding play area in need of seal coating.

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Conditions Assessment	
Curb Appeal	Fair
Pedestrian Access	Fair
Internal Access	Fair
Playground	Good
Sand Play	N/A
Shelter	N/A
Toilets	N/A
Basketball Courts	N/A
Sitting Area	Fair
Ball Field	N/A
Soccer Field	Very Good
Athletic Turf	Good
Lawns	Good
Landscaping	Fair
Paths/Trails	Fair
Parking	Good
Park Sign	Fair
Site Furnishings	Fair
Maintenance	Good



Northwood Park

Address: 615 Pauline Ave

Classification: Detention/Open Space

Status: Owned

Description

Northwood Park/ Detention is a 3.29 acre open space located at 615 Pauline Ave. The park also has frontage on Horatio Boulevard to the west. There are no amenities; the park consists solely of a turf bottomed detention basin. Sidewalks along both street frontages provide access from the neighborhood. The turf is in good condition even in the wettest areas. Landscaping consists of shade trees and evergreens that are in good health. The park sign is missing; only a single post remains. The sign landscape bed has few plantings and is weedy.



Conditions Assessment	
Curb Appeal	Fair
Pedestrian Access	Good
Internal Access	Poor
Playground	N/A
Sand Play	N/A
Shelter	N/A
Toilets	N/A
Basketball Courts	N/A
Sitting Area	N/A
Ball Field	N/A
Soccer Field	N/A
Athletic Turf	N/A
Lawns	Good
Landscaping	N/A
Paths/Trails	N/A
Parking	N/A
Park Sign	Poor
Site Furnishings	N/A
Maintenance	Good



Old Farm Park

Address: 1300 Highland Grove Dr

Classification: Neighborhood Park

Status: Owned

Description

Old Farm Park is located at 1300 Highland Grove Drive. The 10.5-acre neighborhood park offers two ball fields, a soccer field, a playground, and a fishing pond. Connection to the neighborhood is excellent; the park is bordered by neighborhood streets with sidewalks on two sides. The north sidewalk is also part of the regional bike network. Internal accessibility is fair; the playground and south field are joined by a path but the north field is only accessible by the perimeter walks. Parking is available on street.

The playground is in fair to good condition. The woodchip surface appears to be of adequate depth but there is no edge containment. The turf edges are undefined in areas and encroaching into the woodchips. The play equipment consists of a composite structure for 5 to 12 year olds, a swingset with two belt and two bucket swings, and a unique seesaw. All equipment is free of major defects and is in good condition. Some colors have faded and the seesaw footpads are worn. There are two benches in fair condition along the edge of the play area. There



are no walkways to the benches.

The ballfields are in overall fair condition. The fences are fair to good with little heaving or warping but all components have minor to moderate rust. Both fields have good infields; the mix is level and stable though the turf margins are uneven in areas most notably along the foul line fences. The asphalt path

around the south field is undermined and failing around the backstop. The south field has minor weed growth along the fences and backstop while the north field has moderate weed growth. Erosion of infield mix is a concern at both fields. The south field has a moderate amount of transfer across the first base dugout and bleacher pad. The

north field has a significant amount across the first base dugout and bleacher pad as well as moderate amounts on the third base side and behind the backstop. The infield mix is built up significantly inside the backstop to maintain level; this contributes to the transfer of material off the field. The aluminum player benches and bleachers are in good condition at both fields.

The pond has moderate algae growth along the entire edge. The edges are also naturalized and unmaintained. There are no dedicated fishing locations on access paths down to or around the pond.

Site furnishings include litter receptacles, a picnic table, a portable toilet, and benches. The litter receptacles are steel drums; around the playground and south ball field they have domed lids and at the north field they have no lids. The playground benches are recycled plastic and in fair condition. There is also a single backless, recycled plastic bench overlooking the pond. There is no path to this bench. The single aluminum picnic table is in good condition. The portable toilet is highly visible at the main south entrance, there is no fence or landscaping for screening.

Overall maintenance is good. The turf is in very good condition with no areas of thinning and very few weeds. Landscaping is primarily shade trees with some large beds of evergreen shrubs. Tree and shrub health is good except for some ash trees in need of removal and some overgrown areas along the pond. The park sign does not match the district standard but it is in

Conditions Assessment	
Curb Appeal	Good
Pedestrian Access	Good
Internal Access	Fair
Playground	Good
Sand Play	N/A
Shelter	N/A
Toilets	Good
Basketball Courts	N/A
Sitting Area	Good
Ball Field	Good
Soccer Field	N/A
Athletic Turf	Good
Lawns	Good
Landscaping	Good
Paths/Trails	Fair
Parking	Fair
Park Sign	Fair
Site Furnishings	Fair
Maintenance	Good

good condition. The mulch bed around the sign is mostly bare.



Oxford Park

Address: 1450 Oxford Dr

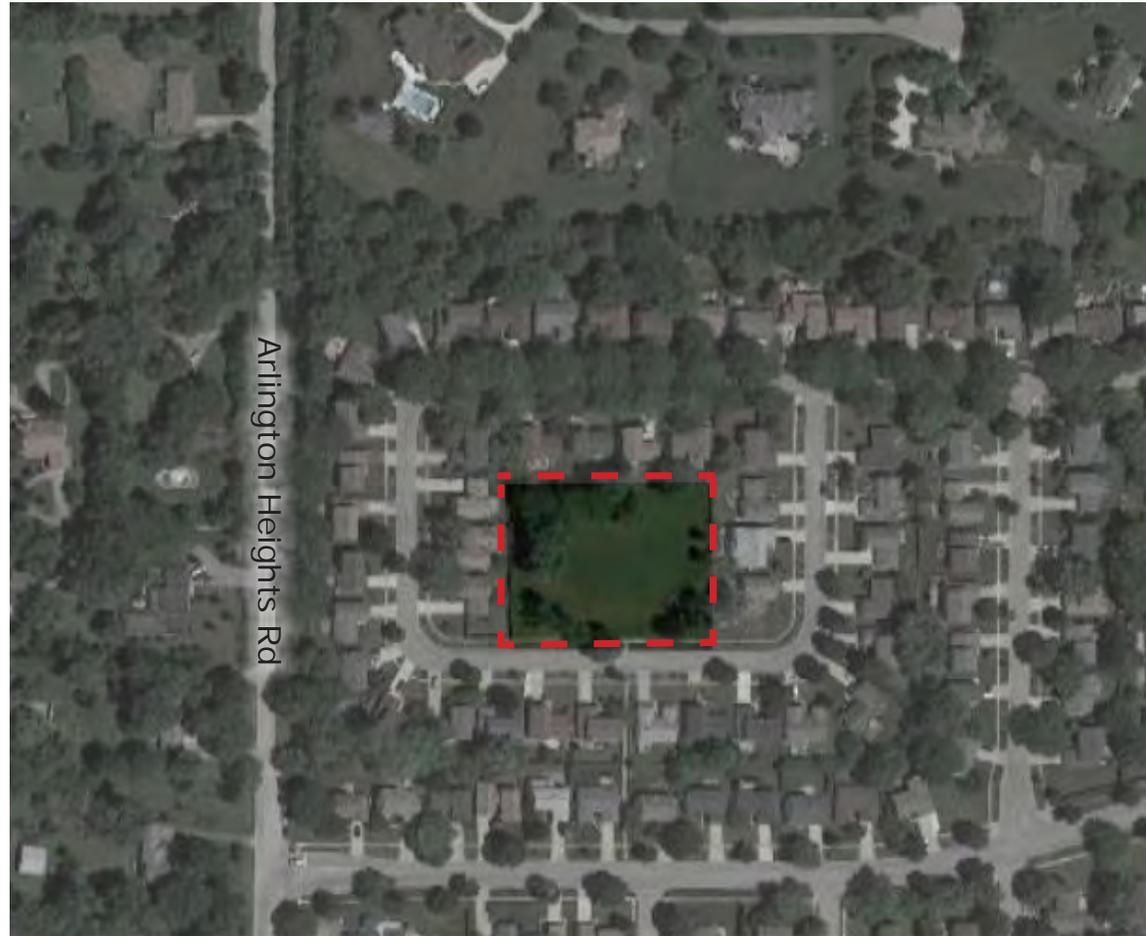
Classification: Detention/Open Space

Status: Owned

Description

Oxford Park is a 1-acre neighborhood park located at 1450 Oxford Drive. The site is surrounded on three sides by single family residences with street frontage along Oxford Drive. There are no facilities or amenities at this park. The park has no identifying signage. The neighborhood has access to Bicentennial Jaycees Park to the south via a walk/path from Oxford Drive to Thompson Boulevard to public sidewalk along Logsdon Lane. The site has several mature trees and the turf is in good condition.

Oxford Park provides open free play space for the immediate neighborhood. Should the neighborhood require additional play facilities, they are available approximately 500 feet to the south at Bicentennial Jaycees Park.



Conditions Assessment	
Curb Appeal	Good
Pedestrian Access	Fair
Internal Access	N/A
Playground	N/A
Sand Play	N/A
Shelter	N/A
Toilets	N/A
Basketball Courts	N/A
Sitting Area	N/A
Ball Field	N/A
Soccer Field	N/A
Athletic Turf	N/A
Lawns	Good
Landscaping	Good
Paths/Trails	N/A
Parking	N/A
Park Sign	N/A
Site Furnishings	N/A
Maintenance	Good



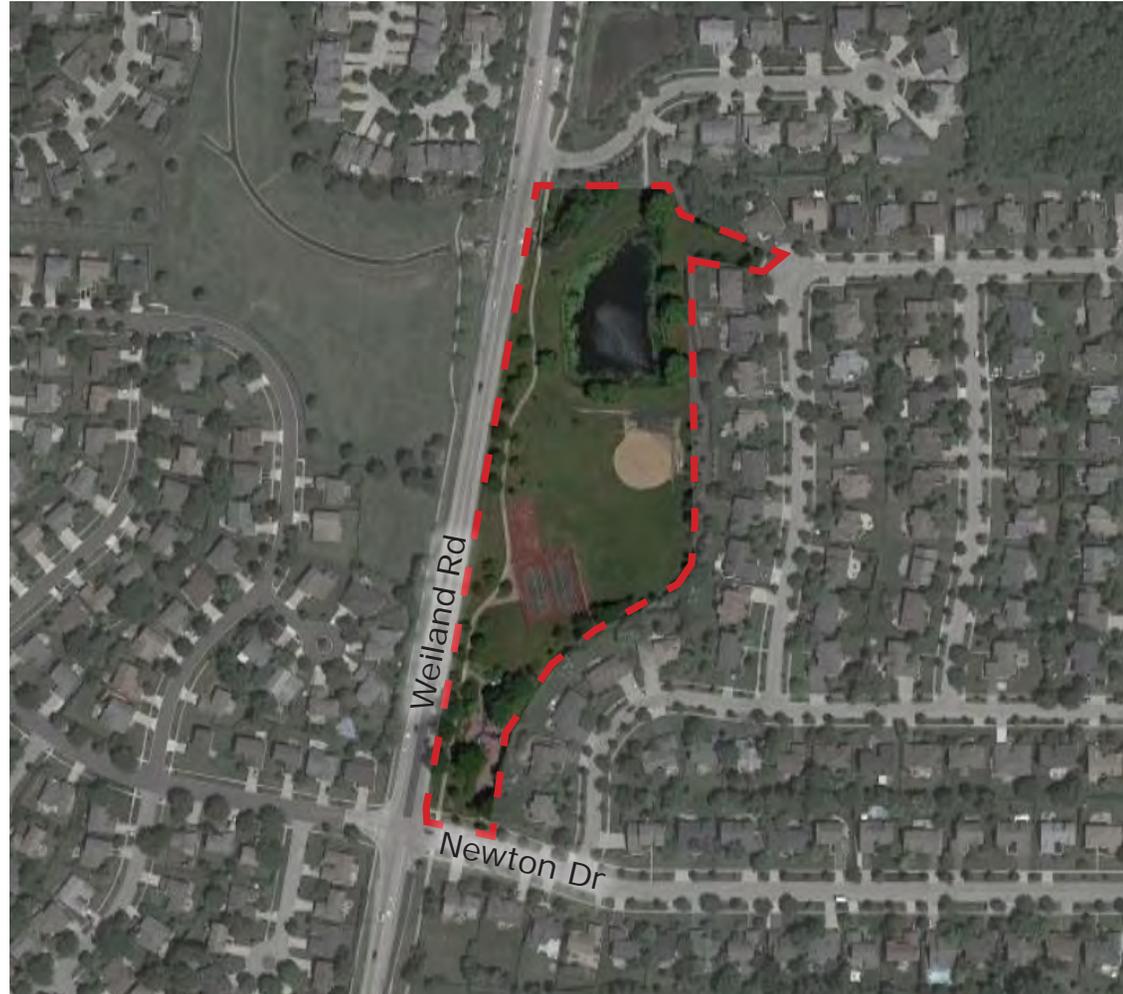
Parkchester Park

Address: 851 Weiland Rd
Classification: Neighborhood Park
Status: Owned

Description

The 7.05 acre neighborhood park is located at 851 Weiland Road. The park's amenities include a skinned ball field, two half-court basketball courts, two tennis courts, a playground, a picnic area, and fishing pond. Pedestrian accessibility to the park is excellent with pedestrian access to the neighborhoods to the north, east, and south. In addition, the regional multi-use trail runs along Weiland Road on the west side of the park. There is no parking available for the park.

The ball field is in overall good condition. The fences and backstop are in good condition with little rust and little warping of fabric. The posts have a minor amount of heaving and the rails are generally level. The infield mix is fair. The surface is generally consistent except for some areas of erosion outside the baselines. Along the first base side the erosion has concentrated into a small channel. At the third base dugout, infield material has been transferred into the dugout and bleacher area. The unfinished aluminum player benches and bleachers are in good condition.



The basketball courts are in fair condition. Major surface cracks have been repaired. The color coating is fair to poor; it is peeling in several locations. The surface does not appear to drain adequately based on the large areas of staining. The basketball standards are in good condition.

The tennis courts are in fair to good condition overall. The fence has little rust. Post heaving is minor, though some posts are leaning. The rails

are generally level and the fabric is free of warping and breakage. The surface is fair to good. There are major cracks that have been repaired and the color coat is free of peeling, however most of the court is stained. The nets and post finish are in good condition, though the post footings have heaved.

The playground, dedicated to Steven Andrew Newkirk, is oriented to the 5-12 age

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group, though some elements could be used by younger children. Overall the playground is in good condition. The woodchip loosefill surfacing appears to be of an adequate depth and had reasonable ‘give’. The apparatus appears to be more than 10 years old and, besides some fading, is in very good condition. Much of the apparatus is universally accessible by means of ramps. The swing set has four belt swings and two bucket swings. The finish is very faded and there is some rust on the chains.

Other site furnishings include picnic tables, litter receptacles, and benches. The benches are recycled plastic and are generally in good condition. The litter receptacles are steel drums with domed lids. There is no litter receptacle at the ball field, basketball court, or fishing pond.

Overall maintenance is good throughout the park. The turf is well kept and mostly free of weeds. Landscaping is fair, there is a good variety of trees, but the landscape beds around the playground and park sign are bare.

Conditions Assessment	
Curb Appeal	Good
Pedestrian Access	Excellent
Internal Access	Good
Playground	Good
Sand Play	N/A
Shelter	N/A
Toilets	N/A
Basketball Courts	Fair
Sitting Area	Good
Ball Field	Good
Soccer Field	N/A
Athletic Turf	Good
Lawns	Good
Landscaping	Good
Paths/Trails	Good
Parking	N/A
Park Sign	Good
Site Furnishings	Good
Maintenance	Good



Prairie Grove Park

Address: 2020 Olive Hill

Classification: Neighborhood Park

Status: Owned

Description

Prairie Grove Park is a 1.93 acre neighborhood park that features a small playground, a practice soccer field and picnic area. The park's western border is a large farm field and has shade trees planted with consistent spacing around the perimeter of the site. Sidewalks from the surrounding neighborhood provide pedestrian connection to the park with an asphalt path bordering the playground area.

The painted wood sign at the north east corner of the park is in good condition. The playground equipment by Landscape Structures appears to be older but are in good condition as well. The hardwood mulch play surface looks to be lacking and worn down. Additional mulch may be needed to provide a more resilient surface for a play area. The three permanent benches near the playground area appear to be older and are in good condition. There is also one moveable picnic table in the area as well. The benches and picnic table all lack shade from overhead structures or any nearby trees. The asphalt path that surrounds the playground area and connects to the outer sidewalk is older, is beginning



to fade and is in fair condition with minimal cracking beginning to show. Two older litter receptacles are provided at the park, one near the entry and one at the playground area. The remaining area of the park consists of open lawn with one soccer net, in good condition, provided for practice.

The plant material at Prairie Grove Park is minimal. The planting below the sign is lush but the mulch bed is poorly defined with some minor weeds beginning to show. Newer deciduous trees

are planted along the west, south and part of the eastern borders, with mature deciduous trees along the north border, around the playground area and the main entry at the northeast corner park. All trees look to be in very good condition, but lower level plantings are nearly non-existent. The turf areas of the park are all in very good condition and appear to be well drained.

Conditions Assessment	
Curb Appeal	Good
Pedestrian Access	Good
Internal Access	Good
Playground	Good
Sand Play	N/A
Shelter	N/A
Toilets	N/A
Basketball Courts	N/A
Sitting Area	Fair
Ball Field	N/A
Soccer Field	Good
Athletic Turf	N/A
Lawns	Good
Landscaping	Fair
Paths/Trails	Fair
Parking	N/A
Park Sign	Good
Site Furnishings	Good
Maintenance	Good



Prairie School and Park

Address: 1530 Brandywyn Ln
Classification: School and Park
Status: Leased

Description

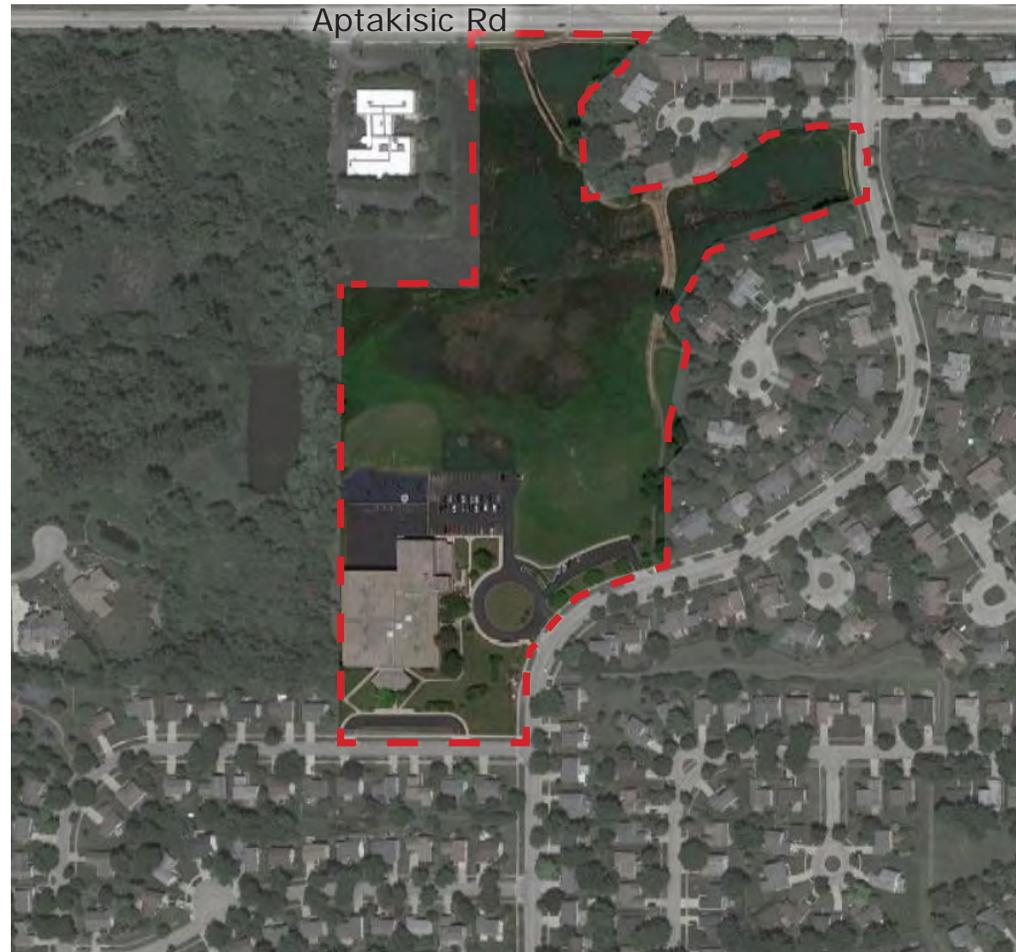
Prairie Park is a 9.5 acre park site that is adjacent to Prairie School at 1530 Brandywyn Lane.

The park in conjunction with Prairie School has play equipment for 5-12 age children. The equipment is in good condition. The play surface is a poured in place rubber surface that is in good condition. In addition to the play apparatus there is a large 18,000 square foot asphalt play space striped with multiple court games and two basketball goals.

An open play area northeast of the school can accommodate U12 soccer games.

There are 66 plus 4 accessible parking spaces off street available in conjunction with the school.

A perimeter path connects Brandywyn Lane and Aptikisic Road then runs southerly connecting to Lyon Court, and continues southerly again crossing Brandywyn Lane and continuing on a neighborhood path network connecting the elementary school with the neighborhood and Green Lake Park.



The curb appeal is below average as there is no Buffalo Grove Park District marquee signage as well as the extensive landscaping effectively hides the elementary school building.

Conditions Assessment	
Curb Appeal	Fair
Pedestrian Access	Good
Internal Access	Good
Playground	Good
Sand Play	N/A
Shelter	N/A
Toilets	N/A
Basketball Courts	Good
Sitting Area	N/A
Ball Field	N/A
Soccer Field	N/A
Athletic Turf	N/A
Lawns	Good
Landscaping	Fair
Paths/Trails	Good
Parking	Very Good
Park Sign	Fair
Site Furnishings	Fair
Maintenance	Good

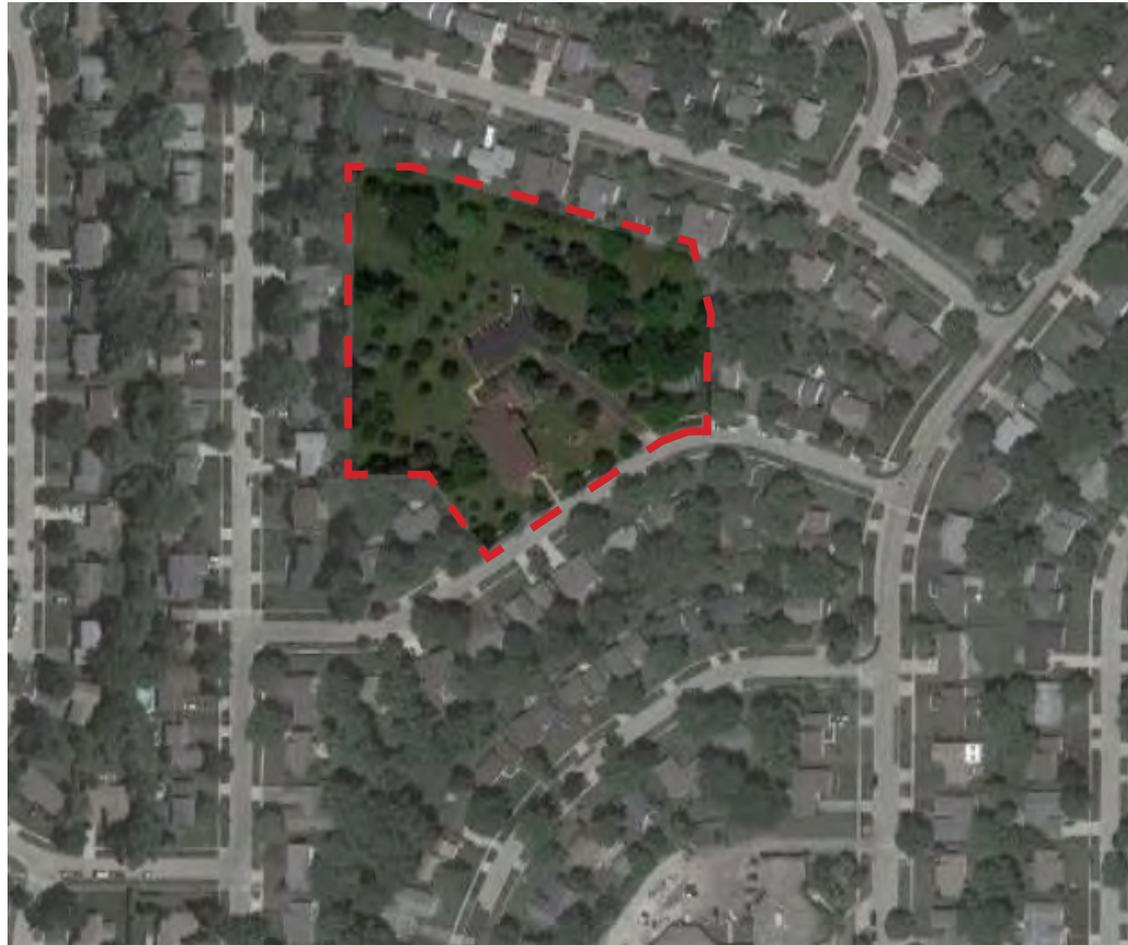


Raupp Memorial Museum and Park

Address: 901 Durham Ln

Classification: Facilities

Status: Owned



Description

Raupp Memorial Museum and Park is a 3.5 acre park and museum located at 901 Dunham Lane. Most of the site is occupied by the building, parking and access drive. Access from the parking area is to the rear of the building.

There is no play equipment or facilities available. The open space behind the museum slopes considerably.

Maneuvering vehicles in parking lot when all spaces are used is very difficult.

Turf and landscape plantings are in good condition. Areas under the pines and heavy tree cover to the east (right) of the entry drive are being shaded out causing a thin, weak stand of turf.

Conditions Assessment	
Curb Appeal	Good
Pedestrian Access	Fair
Internal Access	Good
Playground	N/A
Sand Play	N/A
Shelter	N/A
Toilets	N/A
Basketball Courts	N/A
Sitting Area	N/A
Ball Field	N/A
Soccer Field	N/A
Athletic Turf	N/A
Lawns	Good
Landscaping	Good
Paths/Trails	N/A
Parking	Good
Park Sign	Good
Site Furnishings	N/A
Maintenance	Good



Rolling Hills Park

Address: 1850 Twin Oaks Blvd

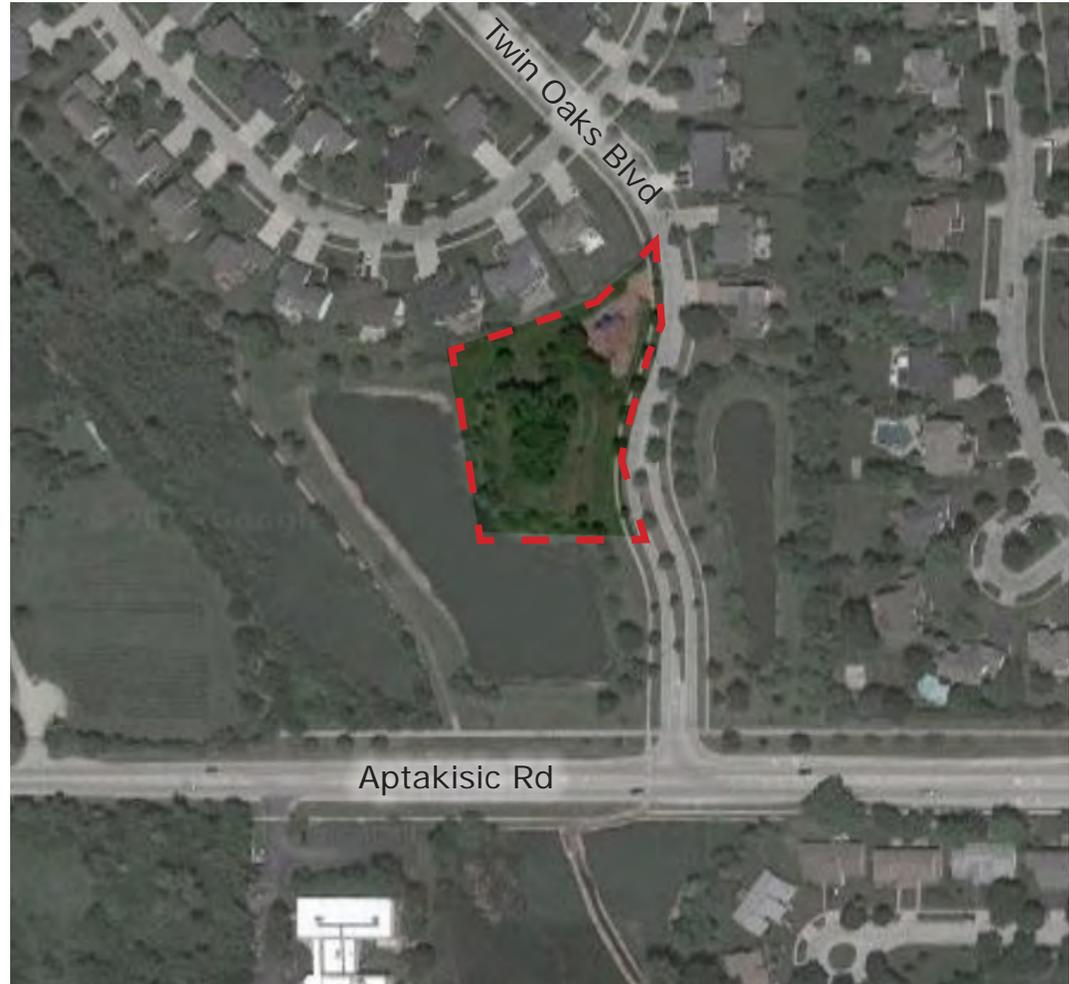
Classification: Mini Park

Status: Owned

Description

Rolling Hills Park is a 0.48 acre neighborhood park at 1850 Twin Oaks Boulevard. The playground has good access from the public walks. The plaza includes memorial bricks and a dedication to Michael Jacob Pearl.

The turf is fair to good, there are some areas that are dominated by broadleaf weeds. The two rail fence provides reasonable separation between the play area and the public street. The fence posts show significant signs of deterioration from string trimmer damage. Landscaping is good and appears well maintained. Some planting beds could be “edged” to improve transition from woodchips to turf. Benches adjacent to play surface are accessible from the play area but not wheelchair accessible.



Conditions Assessment	
Curb Appeal	Good
Pedestrian Access	Fair
Internal Access	Fair
Playground	Good
Sand Play	N/A
Shelter	N/A
Toilets	N/A
Basketball Courts	N/A
Sitting Area	Good
Ball Field	N/A
Soccer Field	N/A
Athletic Turf	N/A
Lawns	Good
Landscaping	Fair
Paths/Trails	Good
Parking	N/A
Park Sign	Good
Site Furnishings	Good
Maintenance	Good

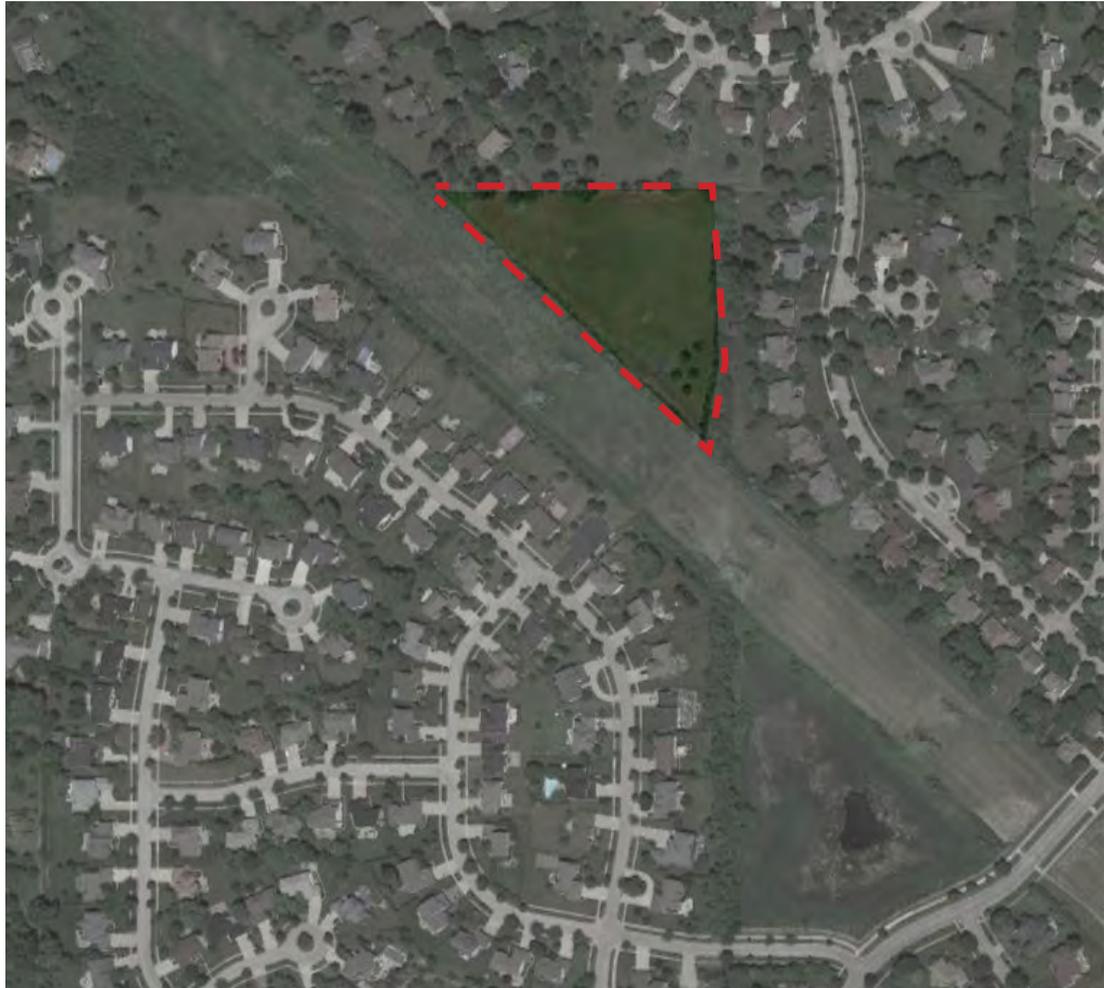


Rolling Hills Park North

Address: 1951 Sheridan Rd

Classification: Neighborhood Park

Status: Owned



Description

Rolling Hills Park North is at 1951 Sheridan Road. The parking area has 14 spaces with two accessible spaces. The balance of the park is accessible by a ± 400 foot asphalt walking path to the ball field and soccer field. The soccer field utilizes the outfield of the ball field and can accommodate a U10 size soccer game. The path traverses a Commonwealth Edison Transmission Tower right of way. The ball field's infield is turf accommodating 170 ft foul lines down the right field line with a significantly greater distance down the left field line.

The open play area appears to be able to accommodate a U12 field if oriented in a north-south axis.

Curb appeal is below average.

Conditions Assessment	
Curb Appeal	Poor/Fair
Pedestrian Access	Fair
Internal Access	Fair
Playground	N/A
Sand Play	N/A
Shelter	N/A
Toilets	N/A
Basketball Courts	N/A
Sitting Area	N/A
Ball Field	Fair
Soccer Field	Good
Athletic Turf	Good
Lawns	Good
Landscaping	Fair
Paths/Trails	Fair
Parking	N/A
Park Sign	N/A
Site Furnishings	N/A
Maintenance	Good



Sommerset Detention

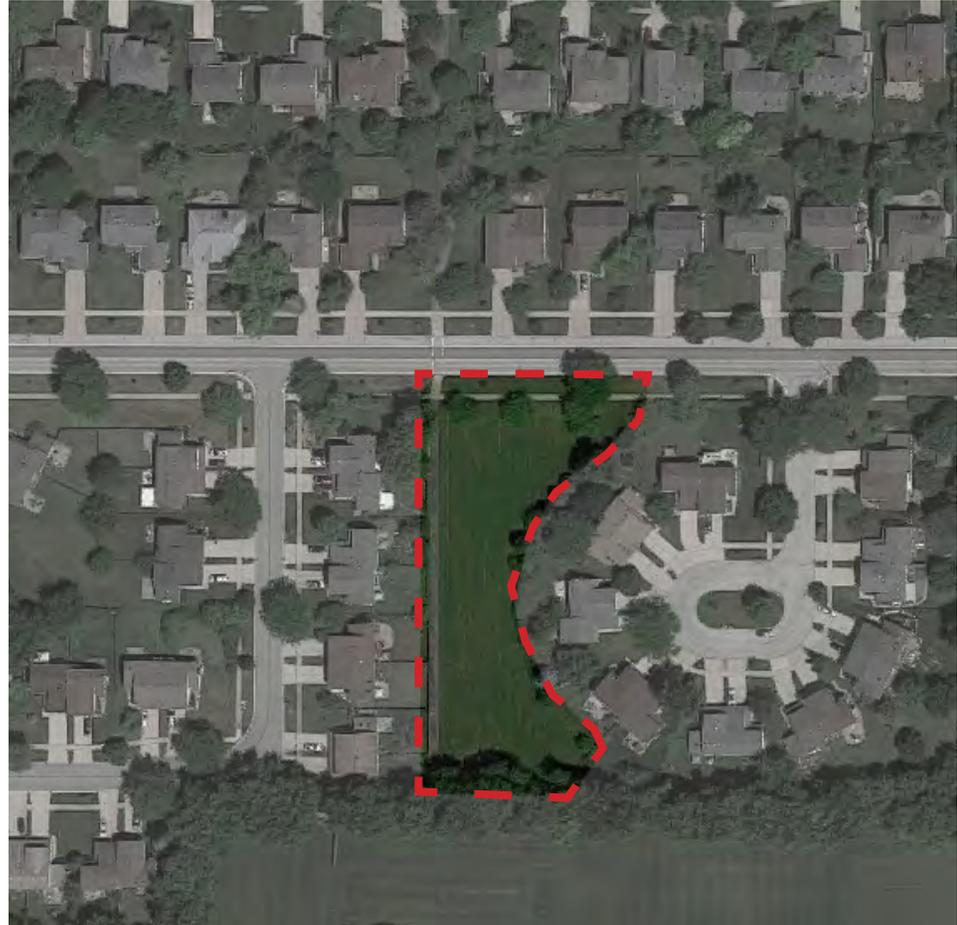
Address: 1530 Pauline Ave

Classification: Detention/Open Space

Status: Owned

Description

The only amenity on site is a spur of the regional trail system. The spur is a dead end and only provides access to the homes that back up to it. The turf is in good condition. Landscaping consists of a mix of shade, evergreen, and understory trees along the property lines and ornamental trees along the street. There is no park sign.



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Conditions Assessment	
Curb Appeal	Fair
Pedestrian Access	Fair
Internal Access	Fair
Playground	N/A
Sand Play	N/A
Shelter	N/A
Toilets	N/A
Basketball Courts	N/A
Sitting Area	N/A
Ball Field	N/A
Soccer Field	N/A
Athletic Turf	N/A
Lawns	Good
Landscaping	Fair
Paths/Trails	Fair
Parking	N/A
Park Sign	Poor
Site Furnishings	N/A
Maintenance	Good



Tartan Park

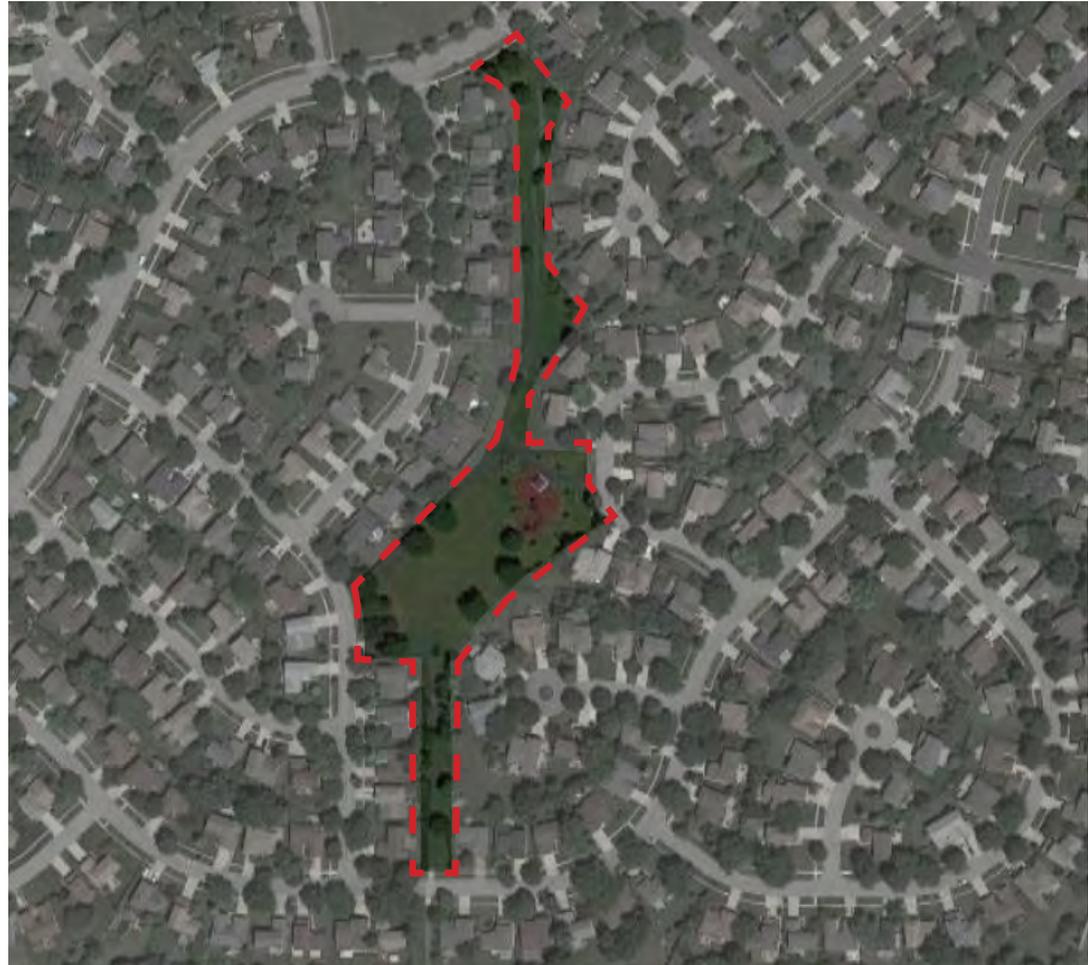
Address: 650 Pinehurst Ln
Classification: Neighborhood Park
Status: Owned

Description

Tartan Park is a 2-acre very linear neighborhood park located at 450 Pinehurst Lane. The park also connects to Sunridge Lane on the west side. The site amenities consist of a playground, shelter, bike paths, and a large open play area. Access to the neighborhood is excellent; there are sidewalks on all streets and the regional bike path runs through the park with connections to all neighborhood streets. Parking is available on street.

The playground is new and in excellent condition. The rubber surface is resilient and has not faded or discolored. The apparatus serves both the 2 to 5 and 5 to 12 age groups with two main structures and several free standing pieces. All equipment is in excellent condition.

The shelter is new and in excellent condition. The concrete masonry unit columns are free of cracks and chipping and the roof components have no loose pieces. The concrete surface has not cracked, chipped, or discolored.



The bike paths run through the park and behind homes with spurs to each bordering street. The surface is in very good condition with little cracking and stable edges.

The only site furnishings are one aluminum picnic table in good condition and one litter receptacle that is a steel drum with domed lid.

Overall maintenance is good. The turf condition

is good with consistent growth, though there are more weeds than at most other parks. Landscaping consists of shade trees and a bed around the park sign. The bed is unplanted in front of the sign and weedy. The trees are in good condition except for a couple of dead ash trees.

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Conditions Assessment	
Curb Appeal	Good
Pedestrian Access	Good
Internal Access	Good
Playground	Excellent
Sand Play	N/A
Shelter	Very Good
Toilets	N/A
Basketball Courts	N/A
Sitting Area	Good
Ball Field	N/A
Soccer Field	N/A
Athletic Turf	N/A
Lawns	Good
Landscaping	Good
Paths/Trails	Good
Parking	N/A
Park Sign	Good
Site Furnishings	Good
Maintenance	Good



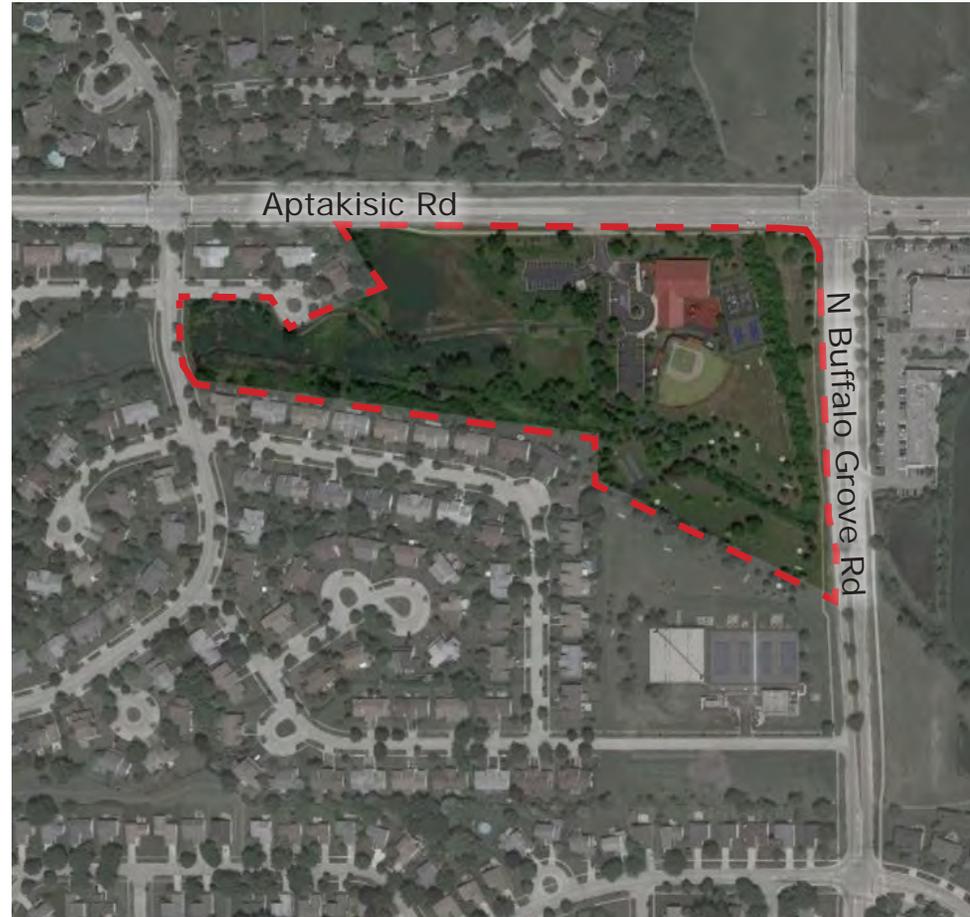
Twin Creeks Park

Address: 401 Aptakistic Rd
Classification: Community Park
Status: Owned

Description

Twin Creeks Park is a 7-acre community park that features both active and passive uses. The north portion of the park features Kendrigan Field, a playground area, two pickle ball courts, a safety town and a clubhouse for concessions and maintenance storage. The more passive south portion of the park winds through the existing vegetation and features a small network of trails and the splitting of Aptakistic Creek, one branch running north and the other to the northwest. A small nine hole disc golf course is routed south of the ball field and into the more passive area to the south.

The park's sign at the entrance from Aptakistic Road appears to be newer, made from metal and sitting on a stone base. The sign is in very good condition and highlights the park's main features: Kendrigan Field, Safety Town and Disc Golf. The park offers plenty of parking by way of two separate areas with one near Aptakistic Road and the other closer to the ball and clubhouse. There



is a bike path connection along the north boundary of the park with proper signage for bikers and crosswalk striping for vehicles entering from Aptakistic Road. The parking layout provides a circle drive / drop-off aisle to allow for efficient vehicular flow during high use periods. Both parking area's asphalt surfacing is in good condition. A small seating area with two permanent picnic tables just off one parking area seems out of place and is disconnected from the rest of the park. The main clubhouse provides sheltered seating for up to 32 occupants and offers concessions, vending machines, drinking fountains and public restrooms. The

remaining areas of the building appear to be for maintenance use with access from the main drive aisle at the park's entrance. A ground lit flagpole and memorial stone are located between the ball field and the clubhouse. Next to the clubhouse sits Kendrigan Field, a small ball field consisting entirely of poured in place rubber with green and light brown color added to signify infield and outfield areas. The field and covered dugouts are entirely wheelchair accessible and are enclosed by vinyl coated chain link fencing. All ball field elements are

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in excellent condition. Adjacent to the ball field and clubhouse is a playground area by Landscape Structures in very good condition and with poured in place rubber surfacing. The playground area caters to all age groups with equipment for school and pre-school age children. Just east of the playground area is a safety town completely enclosed by tall vinyl coated chain link fencing with a locked gate for restricted access. The small safety town buildings and poured in place rubber surfacing are all in excellent condition. Next to the safety town are two pickle ball courts enclosed by matching vinyl coated fencing. The court surface, net, posts and fencing all appear to be newer and are in very good condition.

The south portion of Twin Creeks Park transitions into a more passive use area with a trail system and interaction with two different branches of Aptakasic Creek. South of the ball field beyond the outfield fence is where a small nine hole disc golf course begins. The course continues south through low depression areas for stormwater detention with several drain inlets present. The asphalt path, in good condition, meanders south through and around existing trees with a few permanent benches along the way, all in good condition as well. Two bocce ball courts are located off one portion of the path, however the courts appear to be rarely used and maintained, therefore are in only fair condition. All of the asphalt paths connecting from the parking lots and extending south are in good condition overall. The entire park features plenty of trash receptacles all in good condition and has a newer bike rack located near the flagpole at the parking lot drop off area.

The plant material present at Twin Creeks

Conditions Assessment	
Curb Appeal	Good
Pedestrian Access	Good
Internal Access	Good
Playground	Excellent
Sand Play	N/A
Shelter	N/A
Toilets	Excellent
Basketball Courts	N/A
Sitting Area	Excellent
Ball Field	Excellent
Soccer Field	Good
Athletic Turf	Excellent
Lawns	Good
Landscaping	Good
Paths/Trails	Good
Parking	Good
Park Sign	Very Good
Site Furnishings	Good
Maintenance	Good

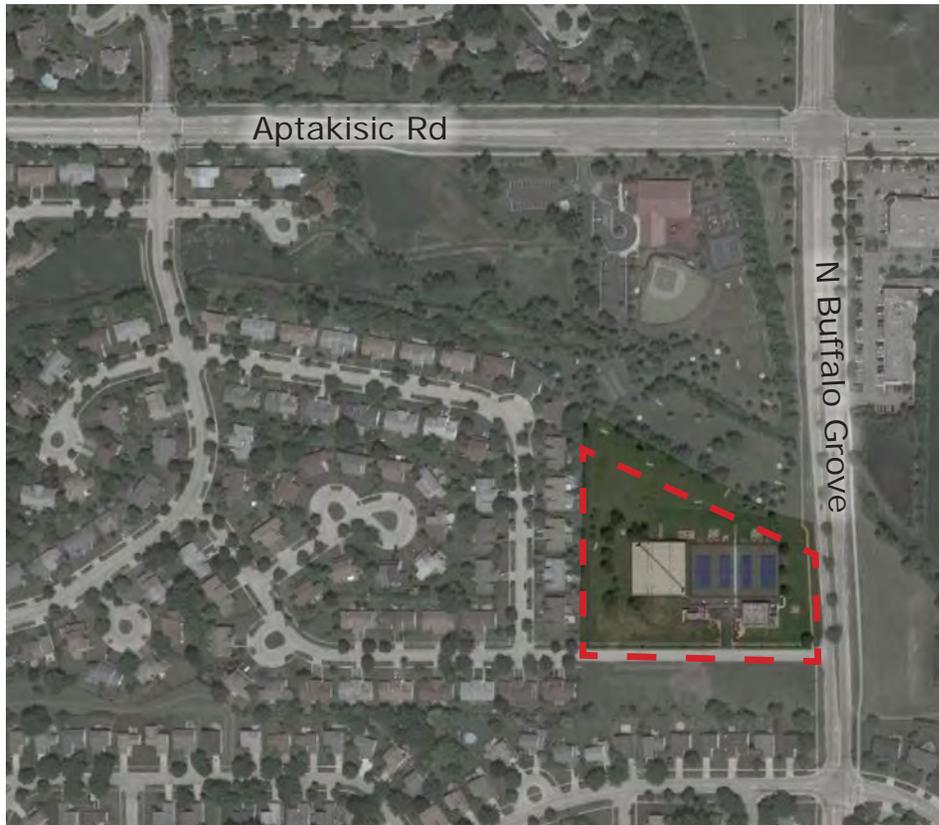
Park shows utilization of existing vegetation supplemented with some newer plantings. The park's eastern boundary offers a heavily forested edge which serves as a good buffer and separation from Buffalo Grove Road. The passive southern portion of the park is laid out around existing trees which offer plenty of shade and frame views while traveling along the asphalt paths. All turf and remaining open areas appear to be in good condition and well drained with some dry areas



Twin Creeks Park, cont.

Description, cont.

present throughout the park. The newer plant material around the ball field and parking areas are in good condition and appear to be regularly maintained. The foundation planting around the clubhouse is sparse and appears incomplete but the plants that are present here are in good condition. The clubhouse's maintenance area is effectively screened with tall evergreen trees and the minimal plant material present at the entry sign appear to be in good condition as well.



Reservoir #7

Description

Reservoir #7 is a water treatment facility located at the south portion of Twin Creeks Park. The only park elements at this location are four tennis courts that are enclosed by chain link fencing. The courts and fencing are in good condition with some of the nets sagging and needing to be re-tightened. The surrounding tree and foundation plantings are all in good condition and appear to be well maintained. Evergreen and shade trees surround the tennis courts to offer some light shade and buffer the

nearby water treatment buildings. There are items, some debris and a metal railing, that are lying in planting beds are in need of disposal. There is no parking provided (other than for service vehicles) as this appears to only be used by nearby residents and visitors of Twin Creeks Park to the north.



Veterans Park

Address: 1300 N Weiland Rd

Classification: Neighborhood Park

Status: Owned

Description

Veteran's Park is a 9.5-acre neighborhood park located at 1300 N. Weiland Road. The neighborhood park consists of a ball field with a skinned infield, a bike path connection to surrounding neighborhoods and the regional trail, a playground, a full court basketball court, two tennis courts, a detention area that can serve as a soccer field, and a parking lot with 46 stalls and two accessible stalls. Also located at the park is the Veteran's Memorial.

The ball field is in overall good condition. The fence is fair. While structurally sound with minor fabric warping, all components have significant rust and some post footings have heaved. The infield skin and margin are in very good condition. The material within infield is level with no major wear or erosion, though material has transferred across the adjacent pavement and into the turf. The outfield turf is good with no major wear and is relatively weed free. Ball field furnishings consist of unfinished aluminum player benches, unfinished aluminum bleachers, and an equipment box. The bleachers are movable

and in good condition. The benches are embedded in the asphalt dugout surface and are in good condition, though they are only about 12" high. The finish on the equipment box is worn and rusted.

The playground is fair overall. The equipment appears to be more than 10 years old, and although it is faded, it is in generally good condition. The composite structure and free standing climbers are oriented mainly toward the 5-12 age group. There is a three-bay swing set with four belt swings and 2 toddler bucket swings. The woodchip surface level is good though the material is degraded in areas. There is no edge containment for the surfacing, though the turf edge is fairly clean with

little encroachment of turf into the woodchips. The recycled plastic benches are weathered and set directly in the woodchip surface.

The basketball court is in fair to good condition. The color-coated surface is generally crack free but does have staining from apparent standing water. The basketball standards are in fair condition though one is leaning toward the court. The court is separated from the path by approximately 5' of turf and is therefore not accessible.

The tennis court is in fair condition overall.



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The fence is fair; the posts are plumb though most have heaved and all components have moderate rust. The color-coated surface is fair. Major cracks traversing the length and width of the court have been repaired in the past. Many of the cracks have re-surfaced. There are no areas of ‘alligator’ cracking. Much of the court has staining from standing water which may indicate poor surface drainage. The nets and post finishes are in good condition. All posts have heaved, which may indicate a subgrade moisture issue.

The parking lot is in good condition. The surface is generally free of cracks. The center portion of the parking lot and the access drive were recently repaved. The perimeter of the lot is in need of resealing.

The memorial is in good condition. The pavement consists of concrete and accent pavers. There are minor weeds growing in the pavement joints. The face and top of the seat wall are in very good condition with virtually no cracking in the material. The landscaping is diverse and very well maintained.

Site furnishings consist of those associated with the ball field, benches in the playground, litter receptacles, a portable toilet, and a picnic table. There are no benches except the player benches at the ball field and those in the playground. The litter receptacles are plastic drums inside a wood slat enclosure with a domed lid. The wood slats are very weathered. The picnic table is in good condition, though it is set at the back of the parking lot in a woodchip area and there is no accessible route.

Overall maintenance is good. The turf is in good condition and generally weed free. Other than what is including around the memorial, the

Conditions Assessment	
Curb Appeal	Good
Pedestrian Access	Good
Internal Access	Good
Playground	Fair
Sand Play	N/A
Shelter	N/A
Toilets	Good
Basketball Courts	Good
Sitting Area	Good
Ball Field	Very Good
Soccer Field	N/A
Athletic Turf	Good
Lawns	Good
Landscaping	Good
Paths/Trails	Very Good
Parking	Good
Park Sign	Good
Site Furnishings	Good
Maintenance	Good

only landscaping is shade trees and bed around the park sign. The trees are in very good condition and there is a good diversity. The bed around the sign is well maintained. The park sign is in good condition and matches the district standard. It is set too far from the park entrance. It is also difficult to see from Weiland because it is set too far back, behind a chainlink fence, and oriented parallel to the road.



Weidner Park

Address: 50 Weidner Rd
Classification: Neighborhood Park
Status: Owned

Description

Weidner Park consists of 3.5-acres and provides a scenic refuge on the southeast corner of Lake-Cook and Weidner roads. The passive greenway consists of well-maintained planting beds and landscaped areas including shade trees, specimen trees, and lush native border plantings with benches and a walking path.

The path is in good condition while the site furniture (benches) represent a variety of styles from different manufactures. The benches are located within turf areas making it difficult to maintain as well as presents accessibility concerns.

The site is irrigated and the turf areas are well drained. No on-site parking is provided. Likewise, there is no central node/gazebo structure to denote sense of arrival.



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Conditions Assessment	
Curb Appeal	Good
Pedestrian Access	Good
Internal Access	Good
Playground	N/A
Sand Play	N/A
Shelter	N/A
Toilets	N/A
Basketball Courts	N/A
Sitting Area	Good
Ball Field	N/A
Soccer Field	N/A
Athletic Turf	N/A
Lawns	Good
Landscaping	Good
Paths/Trails	Good
Parking	N/A
Park Sign	Good
Site Furnishings	Good
Maintenance	Good



Wellington Commons Park & Detention

Address: 505 Windover Rd
Classification: Detention/Open Space
Status: Owned

Description

Wellington Commons Park & Detention is an 8.00 acre mini-park split up into two separate areas. The first is Commons Park, shaped by four residential streets bordering all four sides. A connecting trail across the street leads bicyclists and pedestrians through the neighborhood and to the second, larger portion of the park primarily used for detention

Commons Park is a square shaped, mini-park that functions as the focal point to the neighborhood when entering from McHenry Road / Route 83. Four asphalt paths, from each corner, lead to a central seating area beneath several tall, mature shade trees. The exterior connecting asphalt paths appear to be newer and in better condition than the asphalt at the park's interior. The central area offers four older benches, permanently set within the asphalt pavement and one nearby receptacle provided for guests. The benches and receptacle appear to be older but in fair condition. The park appears to be well-drained and regularly maintained. The park's sign is in very good condition, as well.

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Commons Park is connected to the surrounding neighborhood by way of clearly defined asphalt paths with designated signage displaying “Bike Trail” and “No Motor Vehicles” at the beginning of each connection. One such path leads through nearby homes to the park's detention area. The asphalt path meanders through the lower turf areas with a drain inlet towards the top of the low end of the slope to catch any overflow during peak flow rates. The rear yards of several homes frame the space and the large turf area appears to provide adequate room for open play during dry periods.

Conditions Assessment	
Curb Appeal	Good
Pedestrian Access	Good
Internal Access	Good
Playground	N/A
Sand Play	N/A
Shelter	N/A
Toilets	N/A
Basketball Courts	N/A
Sitting Area	N/A
Ball Field	N/A
Soccer Field	N/A
Athletic Turf	N/A
Lawns	Good
Landscaping	Good
Paths/Trails	Good
Parking	N/A
Park Sign	Good
Site Furnishings	Good
Maintenance	Good



Westchester Park

Address: 180 Thompson Blvd
Classification: Neighborhood Park
Status: Owned

Description

Westchester Park is a 5.5-acre neighborhood park mostly surrounded by homes and a small forested area with Aptakasic Creek running along the north border. Aptakasic Creek cuts through the northern portion and provides separation between the park and the open, undeveloped land to the north. The park features a playground area, a sand volleyball court, and an asphalt path providing connections to the surrounding neighborhood. The path extends northwest of Westchester Park to connect to a larger trail network along Buffalo Grove Road as well as to the east across Aptakasic Creek to serve the nearby homes.

The park's sign at the entrance from Thompson Boulevard is in good condition. The main focus or attraction to this park is the playground area by Landscape Structures. The equipment appears to be intended for use by the 5-12 year old age group, with no distinct pre-school 2-5 year old area present. The playground area features swings both for school age and young children. All of the surfacing



for the playground and swing set areas is poured in place rubber. All of the playground equipment and surface areas are newer and appear to be in very good condition. The asphalt path that leads from Thompson Boulevard encloses the playground area and extends northwest and east to the surrounding neighborhoods. All asphalt paths are in good condition. Two permanent benches, in good condition, are provided at the north and south end of the playground areas. The sand volleyball court, northwest of the playground area, is in poor condition as

several weeds are present and additional sand is needed. The wood and metal bridge that spans Aptakasic Creek is in good condition; however the asphalt path beyond the bridge to the northwest appears to be older than the path near the playground area.

The plant material of this park consists largely of mature vegetation that was protected presumably during the park's design with the

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park being designed around these large existing trees. These mature trees provide plenty of shade to the playground and seating areas. The playground area is located just east of a small grove of large deciduous trees. The grove appears to be well taken care of and maintained fairly regularly. The slopes of Aptakasic Creek are heavily vegetated with large deciduous trees, shrubs and grasses, all of which create a naturalized look to the park's northern portion. The large dry brush areas around the creek's bridge shows the recent maintenance, possibly removing dead or overgrown plant material, leaving a noticeable void to this area. All turf areas are in overall good condition with some areas appearing drier than others as they are beginning to slightly yellow and brown. There is plenty of room for open play at the front of the park from Thompson Boulevard and east of Aptakasic Creek, north of the connecting asphalt trail. The turf area between the sand volleyball court and the surrounding homes appears to be a lower depression area used as stormwater detention during heavy rainfall periods. The foundation planting beneath the park's sign is patchy and appears incomplete.

Conditions Assessment	
Curb Appeal	Good
Pedestrian Access	Good
Internal Access	Good
Playground	Good
Sand Play	N/A
Shelter	N/A
Toilets	N/A
Basketball Courts	N/A
Sitting Area	Good
Ball Field	N/A
Soccer Field	N/A
Athletic Turf	N/A
Lawns	Good
Landscaping	Good
Paths/Trails	Good
Parking	N/A
Park Sign	Good
Site Furnishings	Good
Maintenance	Fair



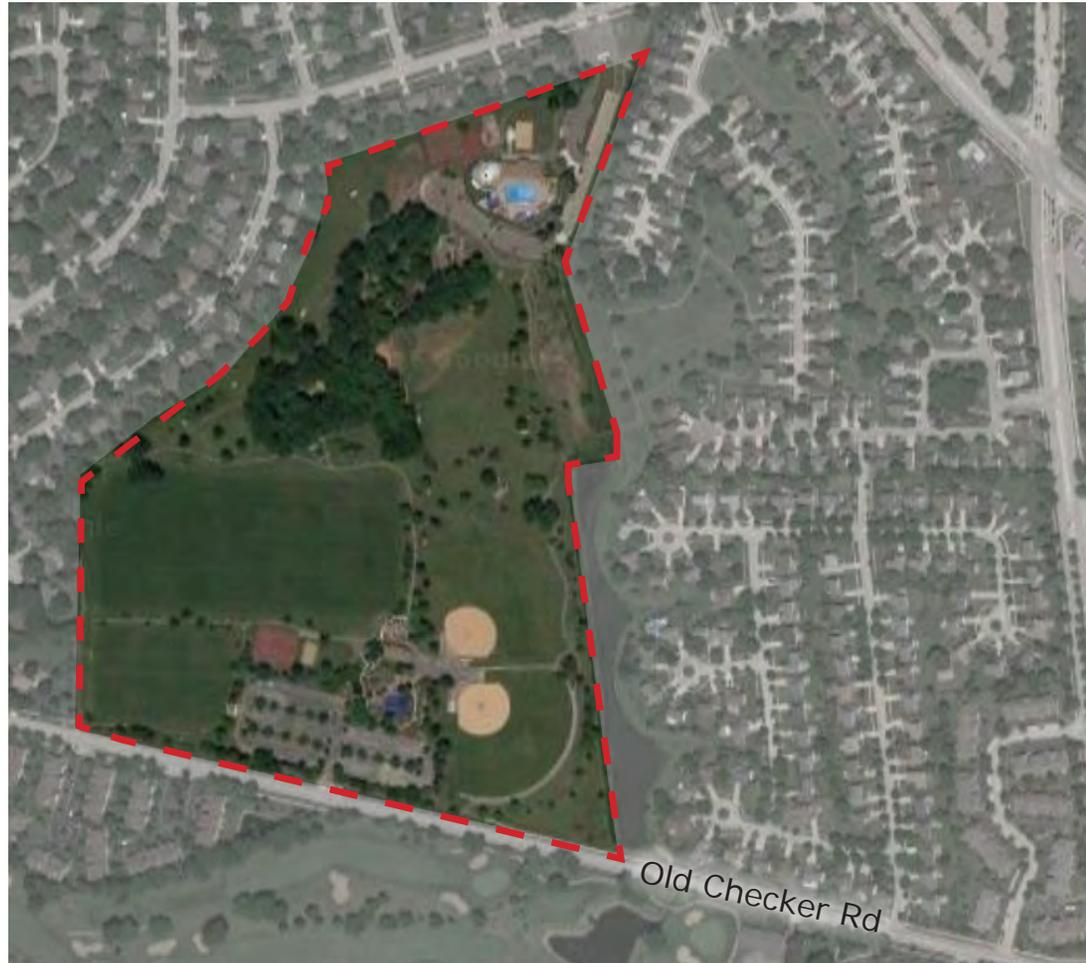
Willow Stream Park

Address: 651 Old Checker Rd
Classification: Community Park
Status: Owned

Description

Willow Stream Pool & Park is part of a 54.00 acre community park featuring a variety of activities so the surrounding residents. The park combines both passive and active recreation and accommodates a wide variety of uses including: a swimming pool, playgrounds, basketball courts, tennis courts, volleyball courts, ball fields, practice soccer fields, disc golf, nature trails, picnic tables, a band shell and shelters with concessions and restrooms for visitors. The park features very good wayfinding signage, is easily accessible for most users and provides two separate, larger parking areas at both the north and south ends of the site.

The pool is located on the north portion of the park and features a porous paver parking lot with a nearby natively vegetated swale and storm water retention pond. The pool area is completely fenced in with a main entrance being through the pool clubhouse featuring restrooms, locker rooms and concessions. One basketball court, two (lit) tennis courts, one sand volleyball court,



two concrete game tables for chess and ping-pong and a large playground are located close by and near the parking lot. All appear to be older with minimal use but in fair condition. Aside from the swale and retention area, the landscaping and plant material here is very minimal with some turf areas in need of repair. A newer, nature themed playground area by Landscape Structures, in very good condition with newer surrounding plant material, is located close to a large forested area along one of the connecting asphalt

trails heading south. All trails look to be in good condition and connect various elements throughout the park.

The middle portion of the site is mostly passive recreation with asphalt paths, several wooden bridges over small creeks, low turf areas for storm water detention, a dense forest with meandering nature paths in between, interpretive signage along paths, and a disc

golf course routed through the region. The disc golf course appears to get a good amount of use and is a good fit to this area. The middle portion of the park serves as a buffer between the active use areas at the north and south of the site.

The south portion of the site features a band shell for performances, picnic tables and shelters, ball fields, practice soccer fields, two basketball courts, one sand volleyball court and a playground with newer equipment which looks to have been very recently installed. The south portion of the site has plenty of open lawn space with asphalt trails throughout and appears to be very well drained. The asphalt trails all appear to be in very good condition as well, but the asphalt pavement around the ball fields is beginning to show some minor cracking. The basketball and volleyball courts are in fair condition and do not feature any lighting for night time use. A wood and stone constructed band shell, in excellent condition, opens up to the practice soccer area which appears to function as a large seating area during performances. A multi-use building with public restrooms, covered picnic tables and seating and additional space for maintenance use is adjacent to the band shell and playground equipment. The building appears to be older but in good condition. Both the building and band shell areas have plenty of surrounding, visually attractive plant material in very good condition. The playground features newer equipment in excellent condition with different levels of play for varying age groups and has poured in place rubber surfacing below. The large parking lot is in poor condition with several cracks and pot holes. The north, middle and south portions of the site all function as one large park and is well maintained.

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Conditions Assessment	
Curb Appeal	Excellent
Pedestrian Access	Excellent
Internal Access	Excellent
Playground	Good
Sand Play	N/A
Shelter	Very Good
Toilets	Very Good
Basketball Courts	Fair
Sitting Area	Good
Ball Field	Good
Soccer Field	N/A
Athletic Turf	Good
Lawns	Good
Landscaping	Good
Paths/Trails	Very Good
Parking	Fair
Park Sign	Very Good
Site Furnishings	Good
Maintenance	Good



Windfield Park and Detention

Address: 550 S Arlington Heights Rd
Classification: Detention/Open Space
Status: Owned

Description

Windfield Park/Detention is a 2.4 acre neighborhood park located at 550 S. Arlington Heights Road. The site is surrounded on three sides by single family and multi-family residences with street frontage along Arlington Heights Road. There are no facilities or amenities at this park. The park has no identifying signage. The neighborhood has access from Rose Blvd. and Rose Court E. via a newly installed accessible walking path. Vegetation is sparse and the turf is in fair to poor condition.

Windfield Park/Detention provides open free play space for the immediate neighborhood without having to cross Arlington Heights Road visit Longfellow Park.

Signage is needed to identify this park given the major entry point appears as a private entry to the neighboring house lot.



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Conditions Assessment	
Curb Appeal	Good
Pedestrian Access	Good
Internal Access	Good
Playground	N/A
Sand Play	N/A
Shelter	N/A
Toilets	N/A
Basketball Courts	N/A
Sitting Area	Poor
Ball Field	N/A
Soccer Field	N/A
Athletic Turf	N/A
Lawns	Good
Landscaping	Fair
Paths/Trails	Good
Parking	N/A
Park Sign	Poor
Site Furnishings	N/A
Maintenance	Fair



Windsor Ridge Park

Address: 780 Vernon Ln

Classification: Neighborhood Park

Status: Owned

Description

Windsor Ridge Park is a 6.24 acre park located north of Dundee Road providing a highly visible park location. Park amenities at Windsor Ridge include a ball field, soccer play, and basketball court and newer playground with seating. The park also has a larger pond with naturalized planting edges.

The ball field sits below the parking lot and is a skinned infield that allows a variety of youth play. The backstops in good condition and is the lower arched overhead style. Players and umpires may be encouraged to use full head protection with this style backstop. There is a medium age tree behind the backstop that is in poor condition and should be either removed or replaced. The ball field area does include a permanent screen enclosure for the porta-potty. Ample bleachers are present with good screen protection.

The basketball court shows signs of heavy use and the surfacing is in need of repair/recoating. The basketball courts also have a low fence separating



the courts from the adjacent playground area. This fence is in need of re-painting and repair.

The playground is Miracle equipment and is newer with a variety of play feature offering good play interest. The playground surface consist of a poured in place resilient surface. The general appearance of the safety surface is good however it should be regularly tested for fall attenuation per CPSI guidelines.

The pathways are in good condition and wide enough to accommodate multiple users. The general condition of the turf is worn. There are numerous areas of worn

turf that will need to be reseeded or sodded and should be a routine activity during the seasons. One are of worn turf is at the end of the basketball courts and most likely a result of it becoming a gathering area. This may present itself as an opportunity to establish and teen friendly gathering and seating area.

The parking lot has significant cracking and separation throughout the parking area. Pavement markings are worn and the lot should be considered for a mill and overlay.

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Conditions Assessment	
Curb Appeal	Good
Pedestrian Access	Good
Internal Access	Good
Playground	Good
Sand Play	N/A
Shelter	N/A
Toilets	Good
Basketball Courts	Good
Sitting Area	Good
Ball Field	Good
Soccer Field	N/A
Athletic Turf	Fair
Lawns	Fair
Landscaping	Good
Paths/Trails	Good
Parking	Fair
Park Sign	Good
Site Furnishings	Good
Maintenance	Good



Woodland Park

Address: 2500 N Buffalo Grove Rd

Classification: Community Park

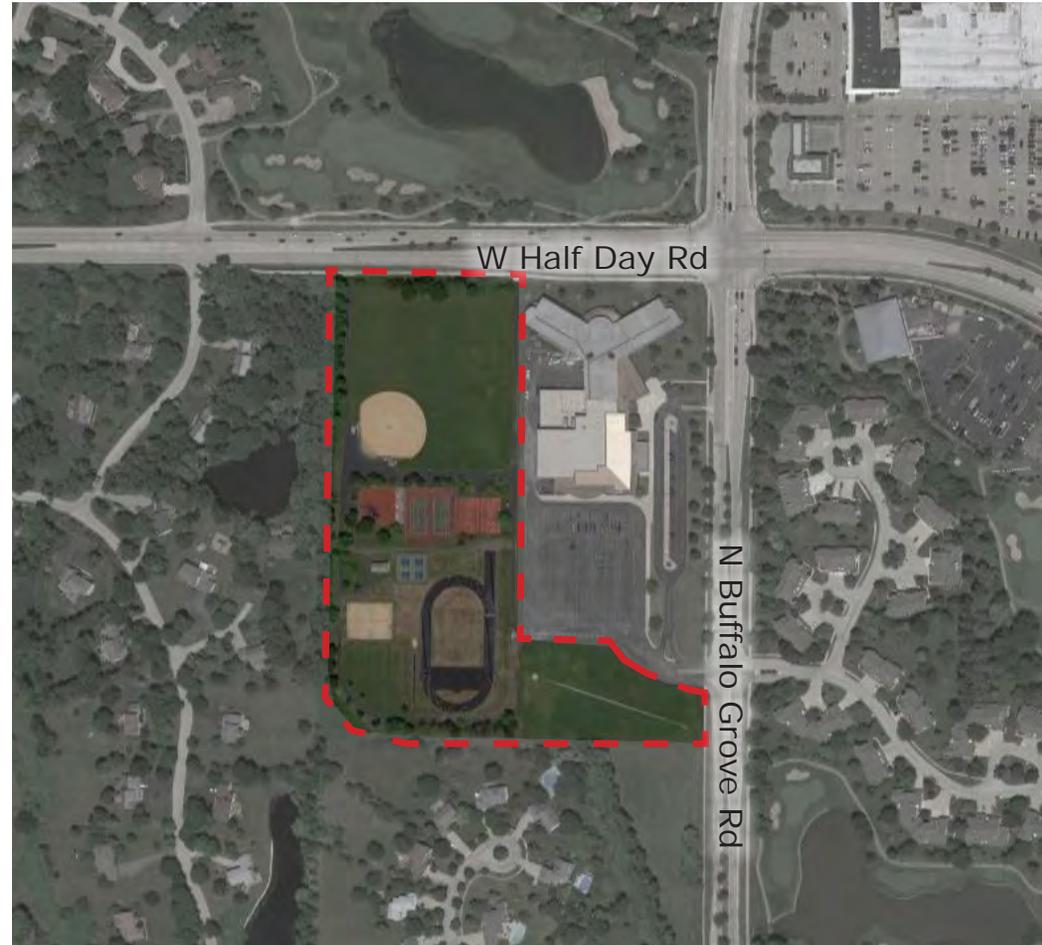
Status: Owned

Description

Woodland Park is a 14 acre community park associated with the Twin Groves Middle School. Facilities available at Woodland Park include: tennis, baseball/softball (unlit), basketball (lighted), pickleball, sand volleyball (lighted), track and field, loop trail network, 5-12 playground, and parking. Additionally, a large ($\pm 20 \times 36$) shade/picnic shelter with accessible tables is available.

Court lighting for the basketball court appears to be more “security” oriented than for recreational light levels.

There are numerous instances of fence footing frost heave around the tennis courts. This may be due to excessive subsurface moisture or poor underdrainage. Excessive subsurface moisture will accelerate pavement and court deterioration and the cause of the excessive moisture should be investigated. Several light pole bases around the tennis courts are indicating significant vertical movement or heaving of either the pavement or the pole bases.



Court surfaces show evidence of poor surface drainage and sedimentation.

The southeastern corner of the site is a detention basin with a paved channel. The paved channel significantly restricts potential recreational use of the detention basin bottom

The marquee sign on Buffalo Grove road is weak, there is no signage on Half Day Road. The site needs

an identify as a Buffalo Grove Park District facility.

Turf and landscaping are good, overall maintenance is good, the curb appeal is weak from Buffalo Grove Road due to the absence of a marquee sign.

Conditions Assessment	
Curb Appeal	Fair
Pedestrian Access	Fair
Internal Access	Poor
Playground	N/A
Sand Play	N/A
Shelter	N/A
Toilets	Fair
Basketball Courts	Good
Sitting Area	N/A
Ball Field	Good
Soccer Field	N/A
Athletic Turf	N/A
Lawns	Good
Landscaping	Good
Paths/Trails	N/A
Parking	N/A
Park Sign	Fair
Site Furnishings	Good
Maintenance	Good



	Acreage	Leased Acreage	Park Classification	Ball Field	Basketball Courts - Full	Basketball Courts - Half	Basketball Courts- Parking Lot	Club Fitness	Facility Rentals	Fieldhouse/Shelter	Ice Rink	Recreation Building	Football Field	Playground Equipment	Roller Hockey	Sand Volleyball	Soccer Field	Swimming Pool	Tennis Courts	Picnic Area	Pickleball	Bocce	Conservation Area	Fishing	Lake/Pond	Detention Area	Disc Golf	Skate Park	Spray Park	Parking	Walking Path
Alcott Center and Park	6.80		C	1							1		1							1										Y	Y
Aptakistic Park	4.00		SU	1																									Y	Y	
Apple Hill Park	8.66		N	1	1				1				1		1	1				1									Y	Y	
Bicentennial Park	3.33		N				1						1		1	1									1					Y	Y
Bison Park	4.50		N	1												1													1	Y	
Cambridge Park	6.00		N										1				1		2	1				1					1	Y	
Candlewood Detention	0.75		D																						1					Y	
Canterbury Park	2.60		N	1									1			1			2						1					Y	
Cherbourg Park	5.60		N			2			1				1	1	1				2	1					1					Y	
Children's Park	4.50		N	1									1		1	1									1					Y	
Churchill Park	21.47		N	1												1							1	1					1	Y	
Community Arts Center	5.50		F								1																			1	
Cooper Park	6.00	6.00	SU	2																					1				Y		
Crossings Pond	10.90		SU																				1	1					1	Y	
Emmerich Park East	8.75		C	1												2													1	Y	
Emmerich Park	13.00		C	2					1		1		1						2	1					1				1	Y	
Frenchmens Cove	4.00		SU													1															
Green Lake Park	20.00		C	1	1								1			1			2	1				1	1	1			1	Y	
Happy Tails Dog Park	2.50		SU																										1	Y	
Highland Point Park/Detention	10.20		D																						1					Y	
Ivy Hall School and Park	5.00		N	1									1			1													1		
Kilmer School and Park	8.00	8.00	C	1		1			1				1			1			2	1					1				1	Y	
Lions Park	5.00		D																						1					Y	
Longfellow School and Park	3.50	3.50	N	1		4							1							1									1	Y	
Martha Weiss Park	0.75		M										1																	Y	
Mike Rylko Community Park	76.50		C	2	1	2			1	1				1	2					1			1		1		1		1	Y	
Golf and Sports Center												1																		1	
Fitness Center								1				1					1	1												1	
Spray N Play													1																1	1	

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	Acreage	Leased Acreage	Park Classification	Ball Field	Basketball Courts - Full	Basketball Courts- Half	Basketball Courts- Parking Lot	Club Fitness	Facility Rentals	Fieldhouse/Shelter	Ice Rink	Recreation Building	Football Field	Playground Equipment	Roller Hockey	Sand Volleyball	Soccer Field	Swimming Pool	Tennis Courts	Picnic Area	Pickleball	Bocce	Conservation Area	Fishing	Lake/Pond	Detention Area	Disc Golf	Skate Park	Spray Park	Parking	Walking Path		
Mill Creek Park	7.00		N	1	1								1			1										1					Y		
Mirielle Park	2.93		N	1		1				1			1						2	1									1		Y		
Nicole Park/Site 21	4.00		N										1			2													1				
Northwood Park/Detention	3.29		D																						1								
Old Farm Park	10.50		N	2									1			1								1	1						Y		
Oxford Park	1.00		D																														
Parkchester Park	7.05		N	1		2							1						2	1				1	1						Y		
Prairie Grove Park	1.32		N										1			1																	
Prairie School and Park	9.50	9.50	N			2							1			1									1				1		Y		
Raupp Memorial Museum & Park	3.50		F									1													1				1				
Reservoir #7	0.25	0.25	D																4										1		Y		
Rolling Hills Park	0.48		M										1																				
Rolling Hills North Park	5.60		N	1												1													1		Y		
Sommerset Detention	1.00		D																						1						Y		
Tartan Park	2.00		N										1																		Y		
Twin Creeks Park	7.00		C	1					1		1		1			1					1	1			1	1			1		Y		
Veterans Park	9.50		N	1	1								1			1			2						1				1		Y		
Weidner Park	3.50		N																												Y		
Wellington Commons Park/Det.	8.00		D													1															Y		
Westchester Park	5.50		N						1				1		1																Y		
Willow Stream Pool and Park	54.00		C	2	3				1				2		2	1	1	2	1				1			1		1	1		Y		
Windfield Park/Detention	2.40		D																						1						Y		
Windsor Ridge Park	6.24		N	1	1								1			1													1		Y		
Woodland Park	14.00		C	1	2											2			2		2				1				1		Y		
Park District Totals	417.37	27.25		29	11	14	1	1	0	9	1	6	0	29	1	11	27	2	26	11	3	1	3	4	6	22	2	1	2	27	11.05 Miles		
N - neighborhood park	C - community park			SU - special use				M - mini park																									
	D- detention/open space							F- facilities																									

Figure 41- Matrix of Sites in Buffalo Grove Park District



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Maps



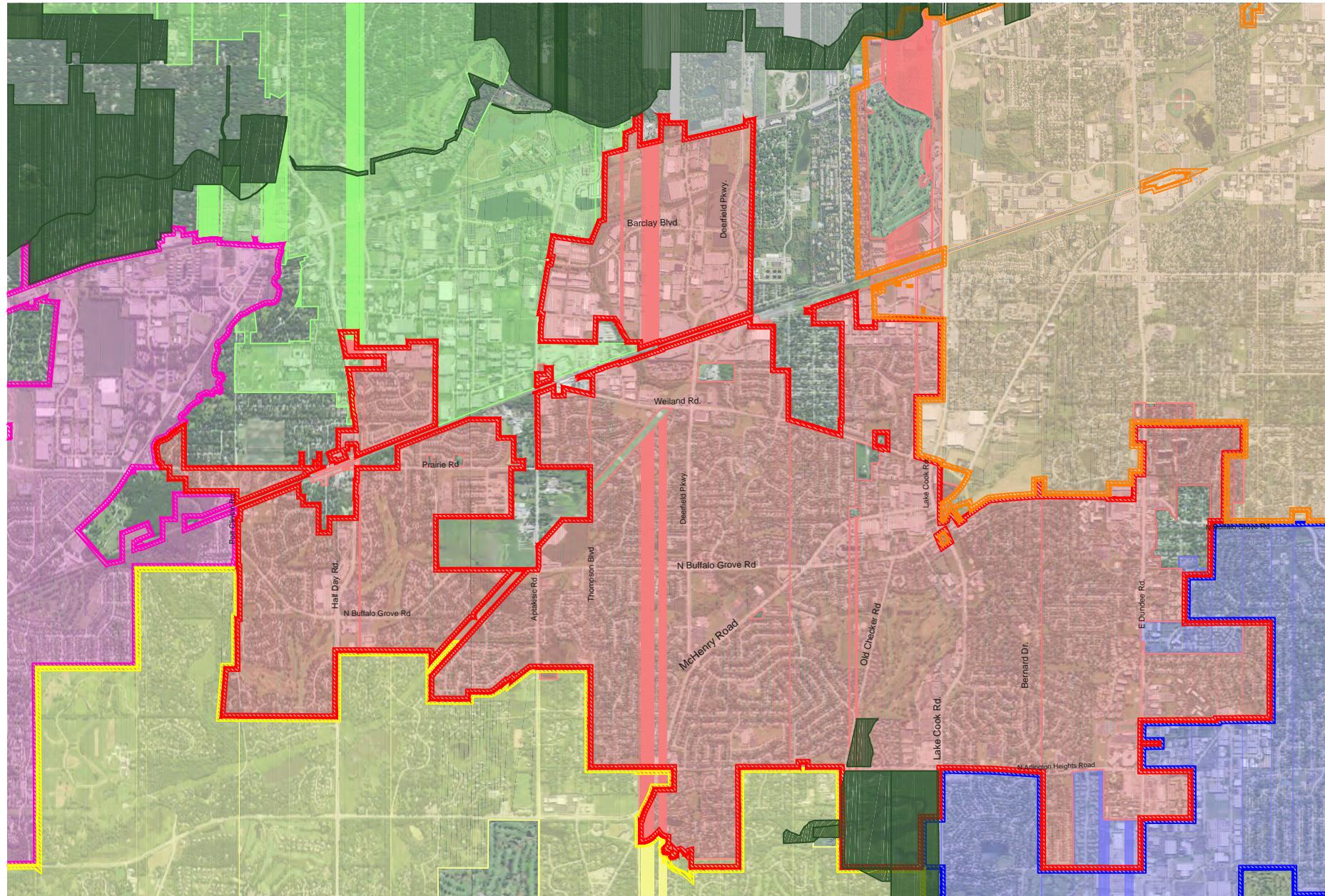
- Executive Summary
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- Community Profile and Demographics
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Jurisdictional Boundaries

The Buffalo Grove Park District boundary is bordered by Vernon Hills Park District, Arlington Heights Park District, Long Grove Park District, and Wheeling Park District. Although nearly identical, the Buffalo Grove Park District boundary is slightly varied from the Village of Buffalo Grove boundary. To the South and Southwest, it overlaps a portion of Arlington Heights and an unincorporated neighborhood in the Wheeling Township (not under the village jurisdiction of Buffalo Grove).



Exhibit 1 - Jurisdictional Boundaries



Legend	
Buffalo Grove Park District	[Red outline]
Village of Buffalo Grove	[Light red fill]
Vernon Hills Park District	[Pink outline]
Village of Vernon Hills	[Light pink fill]
Arlington Heights Park District	[Blue outline]
Village of Arlington Heights	[Light blue fill]
Long Grove Park District	[Yellow outline]
Village of Long Grove	[Light yellow fill]
Village of Wheeling	[Light orange fill]
Wheeling Park District	[Orange outline]
Village of Lincolnshire	[Light green fill]
Village of Riverwoods	[Light grey fill]

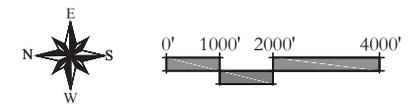


Figure 42- Map of Jurisdictional Boundaries

Existing Park Locations

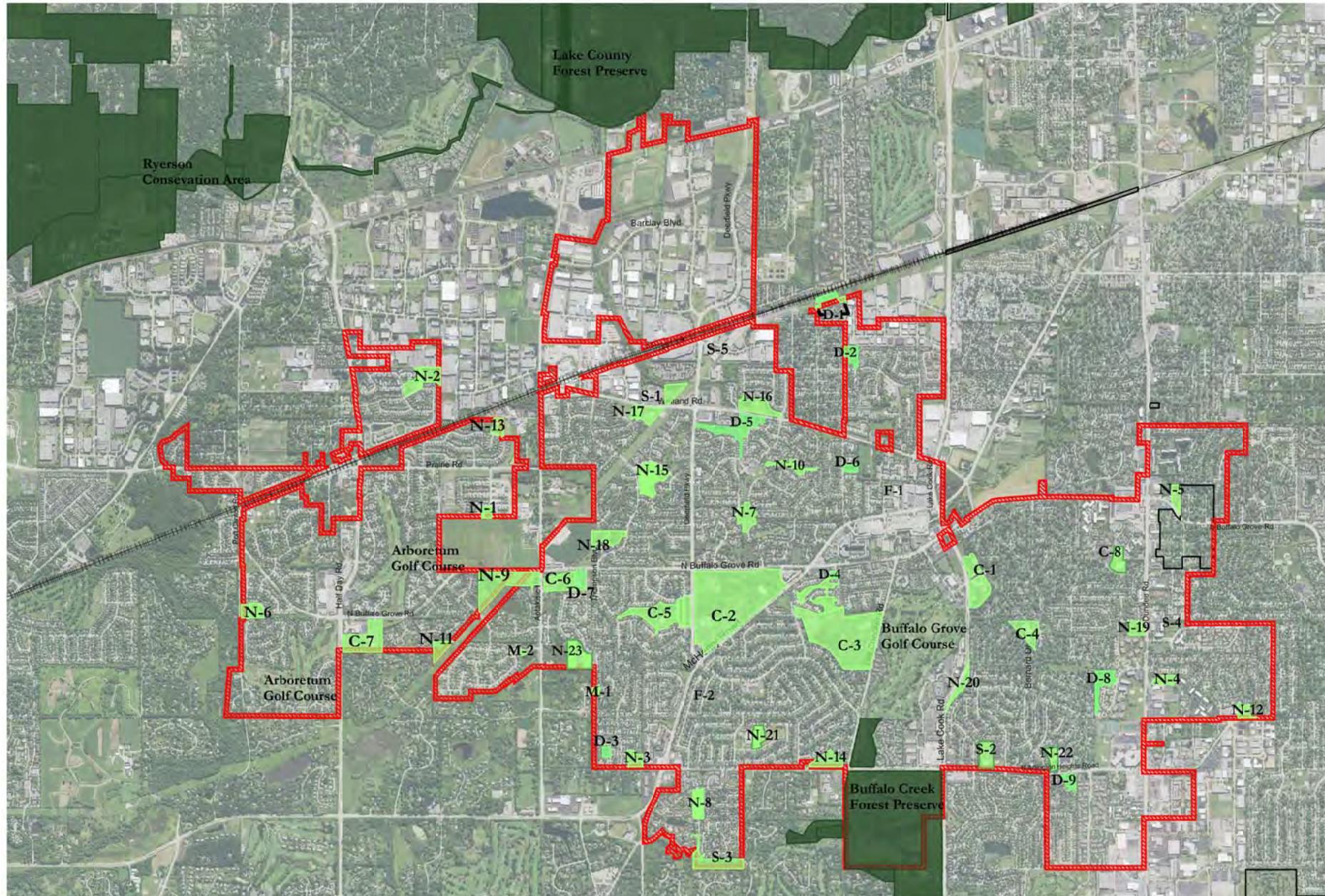
Park and facility locations within the Buffalo Grove Park District are divided up into 7 categories, Mini Parks, Neighborhood Parks, Community Park, Facilities, Special Use, Detention/Open Space, and School/Park.

Exhibit 1 - Jurisdictional Boundaries





Exhibit 2 - Existing Park Locations



Legend

MINI PARKS

- M-1 Martha Weiss Park
- M-2 Rolling Hills Park

COMMUNITY PARKS

- C-1 Emmerich Parks, West and East
- C-2 Mike Rylko Community Park
- C-3 Willow Stream Park and Pool
- C-4 Alcott Center and Park
- C-5 Green Lake Park
- C-6 Twin Creeks Park
- C-7 Woodland Park
- C-8 Kilmer School and Park

NEIGHBORHOOD PARKS

- N-1 Prairie Grove Park
- N-2 Apple Hill Park
- N-3 Bicentennial Park
- N-4 Bison Park
- N-5 Cambridge Park
- N-6 Canterbury Park
- N-7 Cherbourg Park
- N-8 Children's Park
- N-9 Churchill Park
- N-10 Tartan Park
- N-11 Rolling Hills Park North
- N-12 Mill Creek Park
- N-13 Mirielle Park
- N-14 Nicole Park/Site 21
- N-15 Old Farm Park
- N-16 Parkchester Park
- N-17 Veterans Park
- N-18 Westchester Park
- N-19 Windsor Ridge Park
- N-20 Weidner Park
- N-21 Ivy Hall School and Park
- N-22 Longfellow School and Park
- N-23 Prairie School and Park

FACILITIES

- F-1 Community Arts Center
- F-2 Raupp Memorial Museum & Park

SPECIAL USE

- S-1 Aptakisic Park
- S-2 Cooper Park
- S-3 Crossings Pond
- S-4 Frenchmens Cove
- S-5 Happy Tails Dog Park

DETENTION/OPEN SPACE

- D-1 Candlewood Detention
- D-2 Northwood Park/Detention
- D-3 Oxford Park
- D-4 Wellington Commons Park/Detention
- D-5 Highland Point Park/Detention
- D-6 Sommerset Detention
- D-7 Reservoir #7
- D-8 Lions Park
- D-9 Winfield Park and Detention

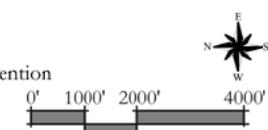


Figure 43- Map of Parks

Community Park Service Areas

Community parks are intended to serve several neighborhoods and include a mix of active and passive activities. Community parks generally range in size from 15 to 50 acres. However, due to available land area, sizes over 10 acres in size can be appropriate to accommodate such activities.

There are 8 community parks within the BGPLD: both Emmerich Parks, East and West, Mike Rylko Community Park, Willow Stream Park and Pool, Alcott Center and Park, Churchill Park, Green Lake Park, Twin Creeks Park, and Woodland Park.

The parks serve a 1 to 3 mile radius of service and are accessible to several neighborhoods.





Exhibit 3 - Community Park Service Areas (1 mile radius)

Legend

- COMMUNITY PARKS**
- C-1 Emmerich Parks, West and East
 - C-2 Mike Rylko Community Park
 - C-3 Willow Stream Park and Pool
 - C-4 Alcott Center and Park
 - C-5 Green Lake Park
 - C-6 Twin Creeks Park
 - C-7 Woodland Park
 - C-8 Kilmer Park

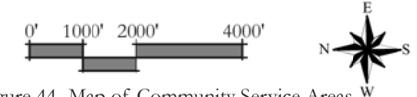
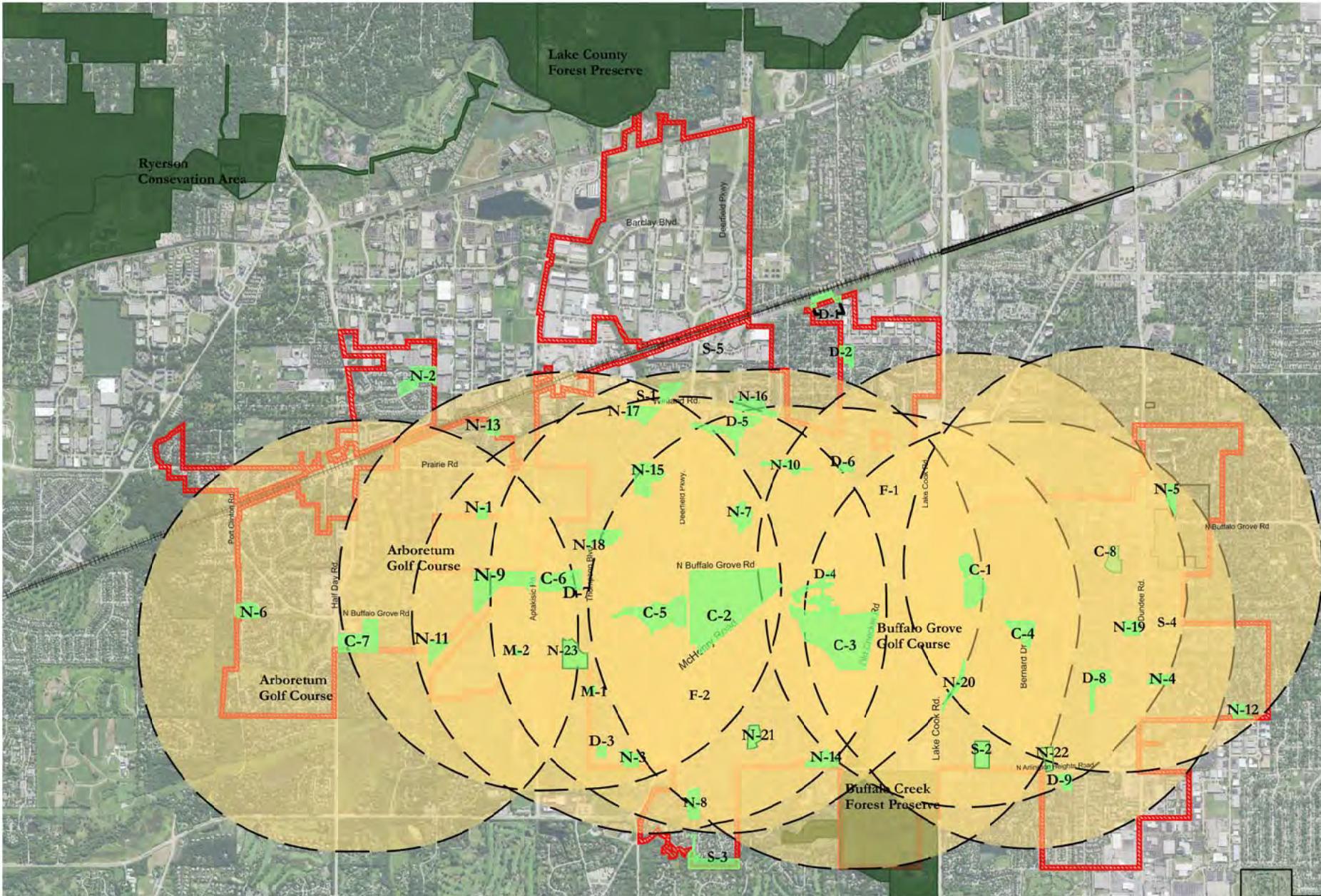


Figure 44- Map of Community Service Areas

Neighborhood Parks and School Service Areas

Neighborhood parks general range in size from 5 to 10 acres; however, sites as small as two acres in size can be appropriate for a neighborhood park. Neighborhood parks are designated for a 1/4 to 1/2 mile radius of service. These parks within the BGPD serve residents in a variety of age groups, and are easily accessible without interruption by major roads or other barriers.

Exhibit 3 - Community Service Areas





Exhibit 4 - Neighborhood Park and School Service Areas (1/2 mile radius)

Legend

- NEIGHBORHOOD PARKS
- N-1 Prairie Grove Park
- N-2 Apple Hill Park
- N-3 Bicentennial Park
- N-4 Bison Park
- N-5 Cambridge Park
- N-6 Canterbury Park
- N-7 Cherbourg Park
- N-8 Children's Park
- N-9 Churchill Park
- N-10 Tartan Park
- N-11 Rolling Hills Park North
- N-12 Mill Creek Park
- N-13 Mirielle Park
- N-14 Nicole Park/Site 21
- N-15 Old Farm Park
- N-16 Parkchester Park
- N-17 Veterans Park
- N-18 Westchester Park
- N-19 Windsor Ridge Park
- N-20 Weidner Park
- N-21 Ivy Hall School and Park
- N-22 Longfellow School and Park
- N-23 Prairie School and Park

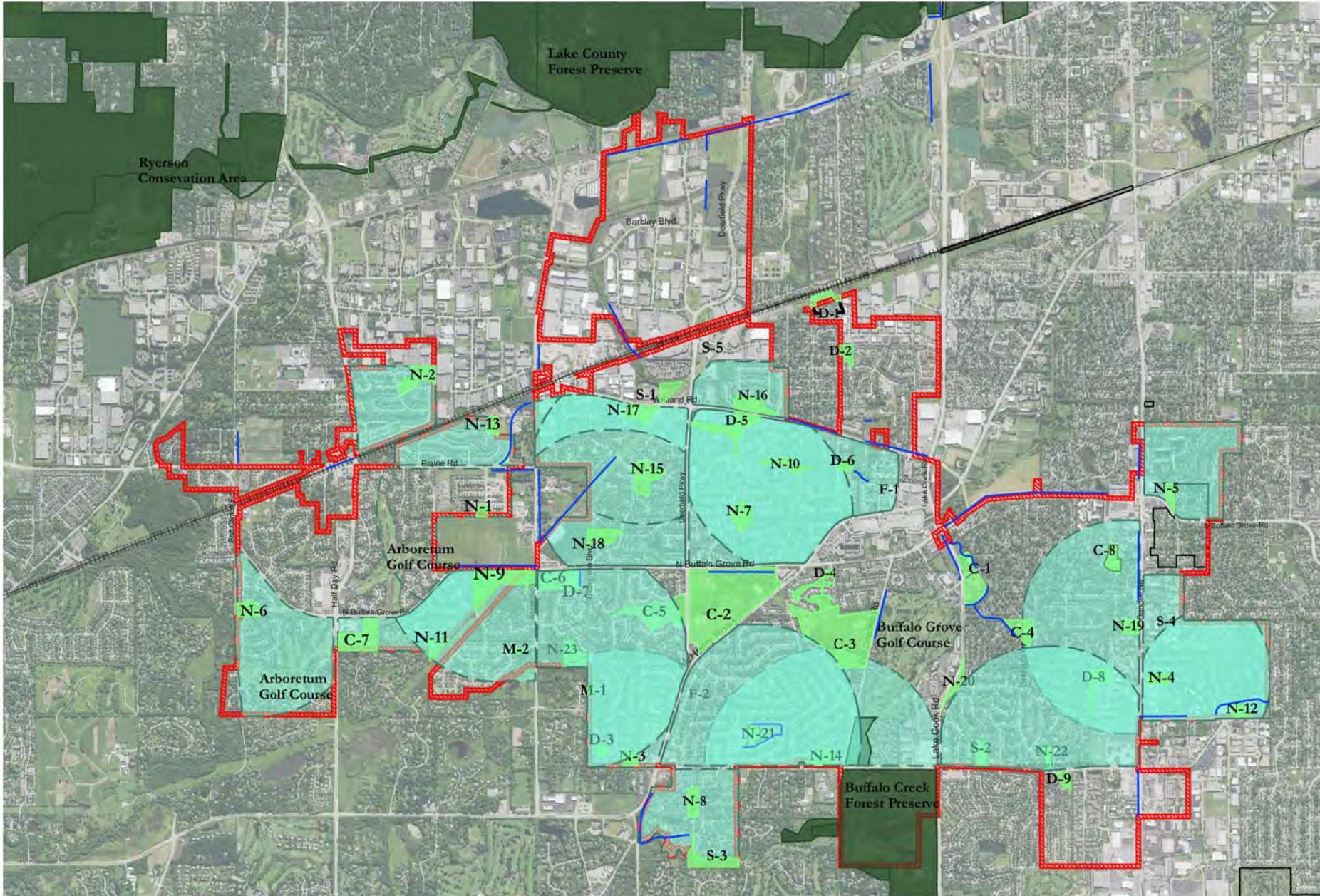


Figure 45- Map of Neighborhood Service Areas

Mini Park Service Areas

Mini parks are mainly designated to serve a concentrated population, a specific age group or function, or also the immediate area. They are designated for a 1/4-mile radius of service and are 1.5 acres or less in size. Their primary purpose is to provide recreation to residents where major roads do not have to be crossed.

The amenities provided can center on play apparatus for young children; however, some include passive activities for adults and seniors depending on the needs of the surrounding neighborhood. BGPD has two mini parks.

Exhibit 4- Neighborhood Service Areas

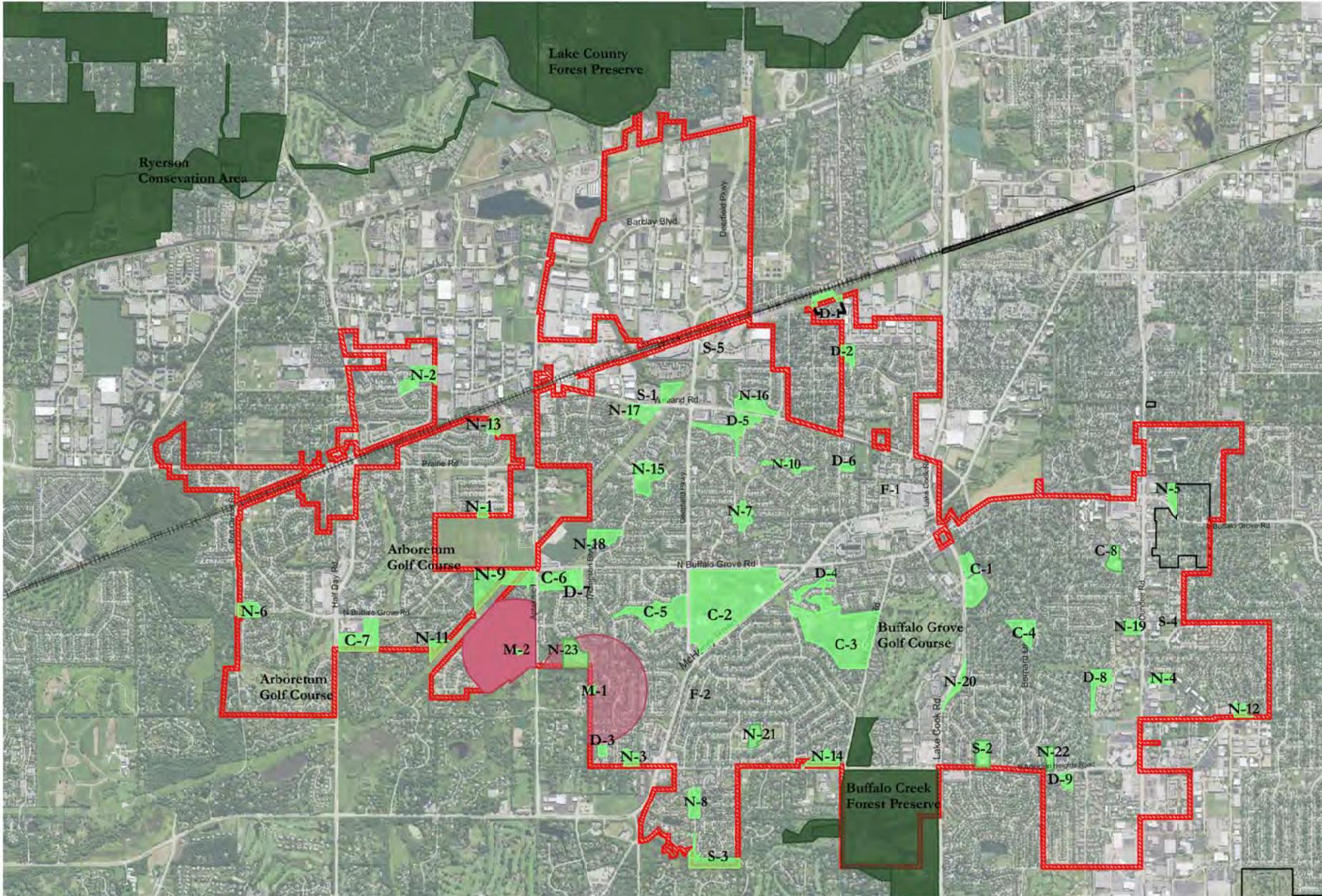




Exhibit 5 - Mini Park Service Areas (1/4 mile radius)

Legend

- MINI PARKS**
- M-1 Martha Weiss Park
- M-2 Rolling Hills Park



Detention and Open Space

The areas identified as detention and open space can be used to mitigate stormwater runoff and also as informal play fields. Few, if any, built structures are present on these sites. Vegetation is often lawn grass, but can include different species.

Exhibit 5 - Mini Park Service Areas





Exhibit 6 - Detention and Open Space

Legend

- DETENTION/OPEN SPACE**
- D-1 Candlewood Detention
 - D-2 Northwood Park/Detention
 - D-3 Oxford Park
 - D-4 Wellington Commons Park/Detention
 - D-5 Highland Point Park/Detention
 - D-6 Somerset Detention
 - D-7 Reservoir #7
 - D-8 Lions Park
 - D-9 Windfield Park and Detention

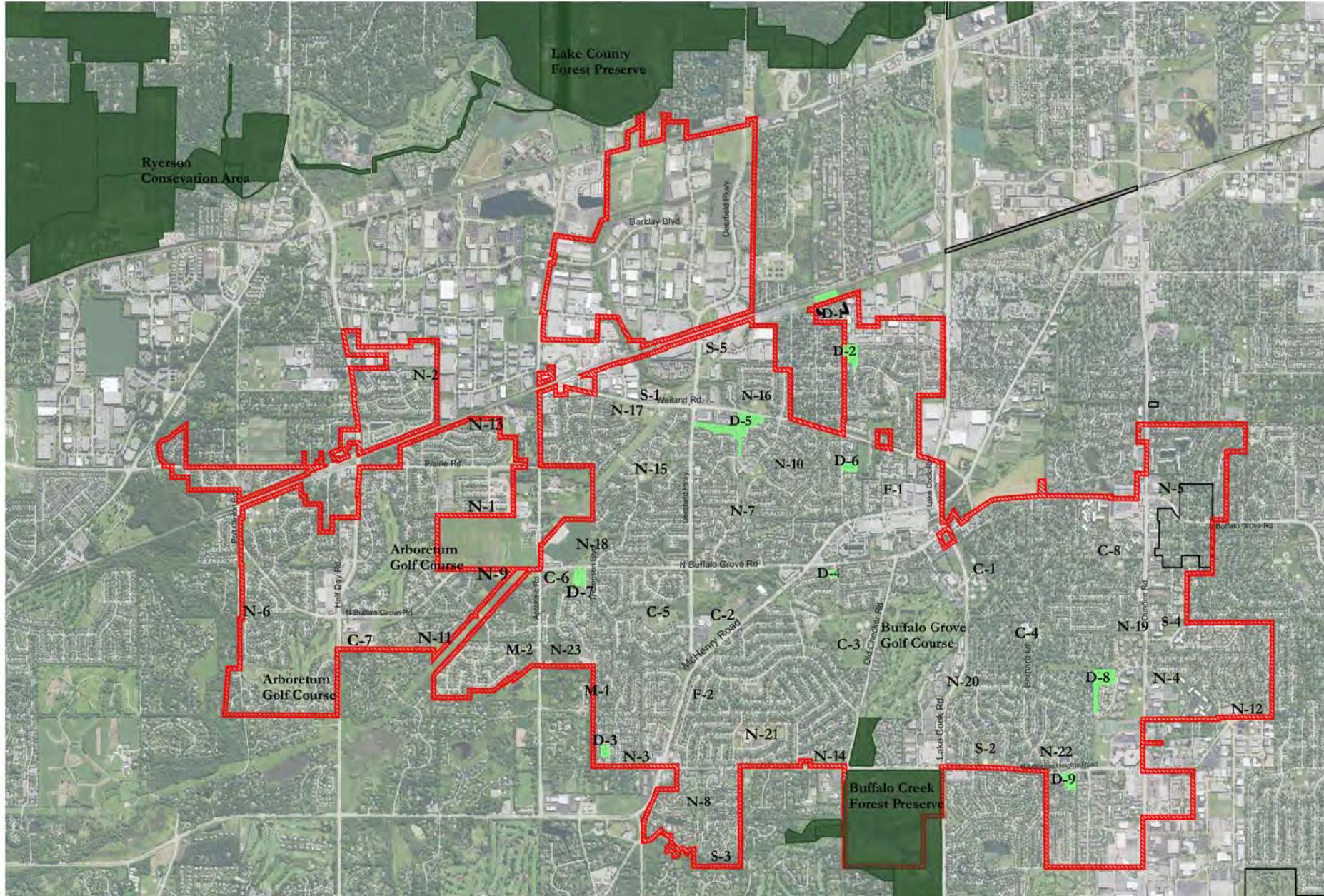
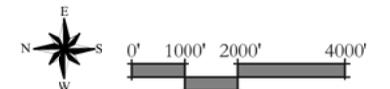


Figure 47- Map of Detention and Open Space



Trails System

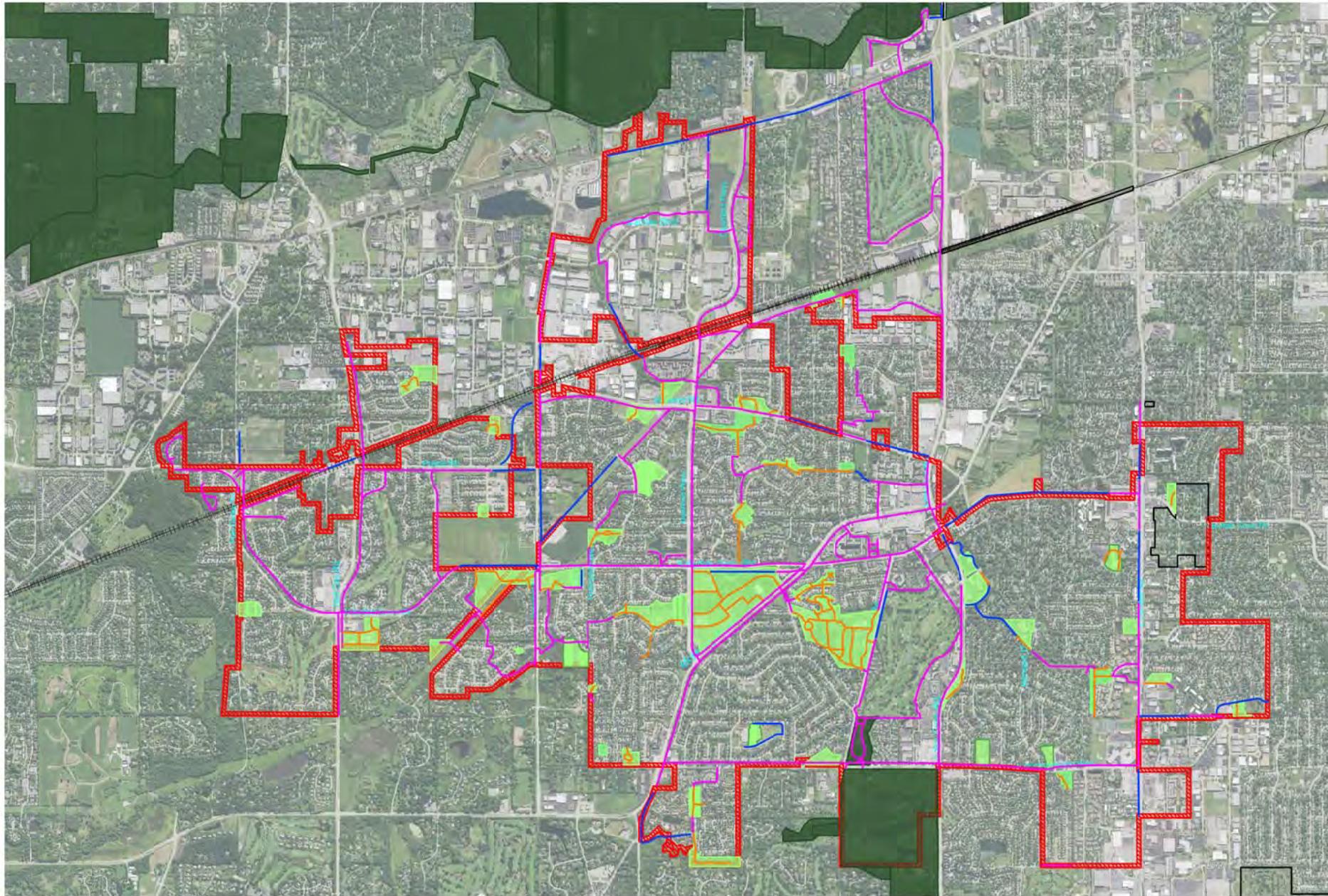
Within the Buffalo Grove Park District boundary runs an existing network of just over 50 miles of 8-foot wide paths for multi-use (biking and walking). They are designed to connect communities and link to the regional bike path system.

Exhibit 6 - Detention and Open Space





Exhibit 7 - Trail System



Legend

-  VILLAGE PATH
-  PARK DISTRICT PATH
-  FUTURE

Figure 48- Map of Trail Systems

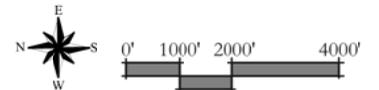


Exhibit 7 - Trails Systems





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Sustainability



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XIV Sustainability

OVERVIEW

Park Districts are increasingly finding pressure to provide services and maintain their facilities more sustainably for the well-being of their community and the environment. The first step for a park district to adopt a sustainability plan or policies would be the formation of a “Green Team” or “Sustainability Team”. The BGPLD has established an Environmental Action Team that is leading the districts formation to determine what sustainable initiatives are achievable for the BGPLD. The Environmental Action Team’s mission states that they strive to raise awareness, improve the community’s natural environment and encourage sustainable practices for present and future generations. These are strong goals and should be part of the Park District’s operational decision making process.

In addition, the Environmental Action Team should research utilizing the Illinois Park and Recreation Association (IPRA) Environmental Report Card outlines environmental initiatives or green practices and can help identify areas for further assessment that impacts the park district, such as energy efficiency improvements.

The park district should develop an environmental policy focused on the core elements of purchasing, use of resources, energy, waste management, and planning and management.

Another tool for sustainable practices is the Sustainable Sites Initiative (SITES™). Which is “a program based on the understanding that land is a crucial component of the built environment and can be planned, designed, developed, and

maintained to protect and enhance the benefits we derive from healthy functioning landscapes (ecosystem services). Sustainable landscapes create ecologically resilient communities better able to withstand and recover from episodic floods, droughts, wildfires, and other catastrophic events. They benefit the environment, property owners, and local and regional communities and economies.” (Sustainable Sites Initiative, 2015)

SUSTAINABLE FOCUS AREAS

The following is a list of sustainable practices, which use low impact design strategies that can be implemented throughout the park district.

Materials & Recycling

Materials come from natural resources that have been extracted, manufactured, or processed for human use. The following policies could be adopted by the park district:

- Hosting recycling events for the community, such as holiday lights, hazardous waste, electronics, drug prescriptions, etc.
- Expand recycling opportunities in the parks with a priority to shelter and picnic areas, as well as active sports fields. This includes a commitment for the BGPD to manage removals in a timely manner.
- Incorporate recycling educational signage in parks and prepare education notices for the sports affiliates each year.
- Incorporate sustainable/green purchasing language into vendor contracts and specifications.
- Review material management: including the complete lifecycle of materials from manufacturing to purchasing to disposal. This includes selecting products that can be recycled or reused rather than disposed of in a landfill.
- Purchase locally or regionally produced materials and plants. Use a set of guidelines such as EPA's Environmentally Preferable Purchasing (EPP) or GreenSeal.org.
- Use vegetation and reflective materials to reduce the urban heat island and minimize effects on microclimate and on human and wildlife habitat.

- Use low VOC furnishings and paints and low-toxicity cleaning products.

Transportation

To significantly reduce the amount of pollution and greenhouse gas emissions generated each day, the park district should consider implementing:

- Opportunities for improving alternative options, including transit, biking and walking.
- Review bike rack locations at all park district sites.
- Update fleet and equipment to include alternative fuel and/or hybrid vehicles. This can be done as part of a Capital Asset Replacement Program strategy.

Water

Water is a limited resource that is essential to all life, and sustainable landscapes are those that reduce water use, improve infiltration and filtration, and promote healthy rivers and lakes.

The following policies could be adopted by the park district to conserve and protect our Earth's hydrological functions:

- Reduce imperviousness through the use of permeable pavements.
- Continue to offer a rain barrel program for residents so they are able to disconnect their downspouts from the storm system and reuse the rain water on site.
- Maintain natural drainage courses, and mimic natural systems for stormwater quality control.
- Reduce use of storm pipe for stormwater management.
- Use native plants, and implement natural area restoration and management.

- Avoid development and disturbance near streams and wetlands, and on sites with high risk of flooding.
- Use Green Infrastructure practices such as; rain gardens, constructed wetlands, green roofs, and bioswales, to capture and slowly infiltrate water into the soil or groundwater.

Energy

Energy conservation is reducing energy consumption through using less of an energy service. Below is a list of ways to reduce the park district's energy consumption and be more energy efficient.

- Purchase Energy Star rated appliances.
- Review the park district's current air filters and convert to MERV 8 rating or better to improve indoor air quality for patrons/ staff and extend the useful life of HVAC systems.
- If new buildings are proposed, they should be sited with an east-west axis, where practicable, to optimize passive solar design and include the use of broad roof overhangs to block midday summer sun.
- Review current heating and cooling systems for energy- efficiency.
- Implement a staff policy to turn off printers, computers, and scanners at night and on weekends.
- Explore solar energy or other renewable energy options both for heating water and providing electricity.

Field/Turf Management

One of the quickest, more affordable and potentially more noticeable practices is how a Park District manages one of its largest commodities, turf.

- Make a policy of reducing petroleum based turf chemicals.
- Consider alternative turf applications such as Bio-Solids and Bio-Char for turf fertilization and soil improvements.
- Develop a policy and maintenance schedule that eliminates all lawn waste from being removed from the site.
- Institute a composting program for any waste and lawn clippings produced by the Park District.
- Institute a policy to further reduce weed control spraying on less active fields and fields that are not in active use seasons to only spot/selective applications.
- Promote pollinator plantings in the parks landscape program.

Educational

In addition to being a leader in sustainability, the BGPD could offer programs focused on environmental education and lifestyle choices.

Programs the BGPD could offer may include:

- Community gardening
- Water conservation
- Greening your home
- Native plant material
- Pollinator planting
- Composting

Summary

The BGPD's environmental policy will confirm the District's commitment to leadership and sound use of the District's and its resident's resources in a responsible manner.





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Recommendations



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OVERVIEW

As stated in the introduction, the Comprehensive Park Master Plan will serve as a guide and a tool for shaping the future of the Buffalo Grove Park District. The Plan creates a strategy to maximize the quality of life through identifying the community's needs, prioritize improvements to the parks, recreation facilities, open space; and allocate funding effectively. In other words, this Plan will serve as a guide for the Board of Commissioners and the public to conceive and define future direction for the Park District, and used as a tool by the staff to accomplish the goals and objectives of the Plan.

Individual site-based assessments and inventories were conducted by our planning team on all BGPD parks to determine diversity of facilities, distribution patterns, maintenance

practices, age, condition and compliance with accessibility requirements of the Americans with Disabilities Act (ADA). As part of the Plan, numerous recommendations have been developed as a result of these site-based assessments, park land inventories and facility assessments. Additionally, recommendations have been developed as a result of the analyses of programs, meetings/interviews with District Board of Commissioners, staff, and interested public through mySidewalk – an online public engagement tool. After completing site visits and inventories, recommendations were made based upon the National Recreation and Park Association's (NRPA) guidelines for service areas and community needs, staff responses, public input and trends.

The recommendations are not all-inclusive;

however, alternatives are suggested that range from conservative to optimistic relative to funding. In the overall assessment, the Buffalo Grove Park District is providing excellent services to the residents of the community based on the available resources. The recommendations that follow represent areas where the Park District can improve and/or strengthen their services, operations, programs, and facilities. Based upon these recommendations, the District should annually review goals and objectives and establish priorities to assess progress, with new goals and objectives added. In addition, the Capital Improvement Program and the Recommendations/Implementation should be reviewed and evaluated annually, and updated accordingly.

FACILITY RECOMMENDATIONS

The facilities Assessment chapter reviewed eight facilities within the District, highlighting the existing functions and findings of the facility. The assessments entail a full review of each of the facilities' compliance with current code requirements, space requirements, and conditions of the facility. Chapter VIII also identified classified items based on the nature of the item and assigned priority. Below are overall general recommendations for the Alcott Center, Buffalo Grove Fitness Center, Community Arts Center, Emmerich Park, Golf & Sports Center, Raupp Museum, Spray 'N Play, Twin Creeks Park and Willow Stream Pool.

Itemized in chapter VIII you'll find facility-specific recommendations, along with their priorities.

PROGRAMMING AND OPERATING RECOMMENDATIONS

Itemized in Chapter IX you'll find recommendations relating to the recent report conducted by Executive Decisions regarding the operations and programming. An inclusive approach led to recommendations that reflect the interest of these participants. Consider the many possibilities of integrating modern technology in existing and proposed programming; at the same time, recognize the importance of preserving what works well for both the BGPD administration and those it serves.

GENERAL PARK RECOMMENDATIONS

As discussed in Chapter XII, each of the District's existing park sites was inventoried and facilities evaluated. While the condition of the parks varied, many similar issues were seen District wide. General recommendations are presented as items to be addressed throughout the BGPD as a whole. Based on the park specific evaluations, recommended improvements were developed taking into account: age and condition of facility/ user safety/ accessibility requirements; maintenance; functional relationships; and recreation program needs. The following is a summary of recommended improvements for the Buffalo Grove Park District parks.

Existing Parks and Open Space Goals:

- Continue to invest and enhance existing parks
- Renovate/expand existing facilities based on community need
- Provide ADA accessible routes to park amenities,
- Install benches on concrete pads for accessibility and ease of maintenance,
- Develop a playground replacement schedule, considering useful life of equipment,
- Develop a program to standardize park site furnishings; a standard for park site furnishings can provide a unified look throughout the Park District.

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Existing Buffalo Grove Parks

Alcott Center

- Long Term – Front parking lot area should be resurfaced.
- Ballfield western edge should have new containment edging for infield mix and possible regrading to reduce runoff onto bike path.
- New bike racks should be installed and relocated away from ballfield fence.
- Ballfield fence and backstop should be scheduled for replacement.



Aptakistic Park

- Regrade turf along edges of asphalt path to eliminate abrupt elevation changes.
- Extend walls around the picnic area to maintain a consistent level of woodchip surfacing.
- Regrade ballfield or install edging to reduce erosion of infield mix.
- Update site furnishings.
- Install additional landscaping to improve curb appeal.



Apple Hill Park

- Install mulch around the trees.
- Enhance park sign with groundcover and perennial plants.
- Eliminate abrupt grade change along the ballfield backstop by installing raised concrete curb.
- Expand volleyball court with overrun area and install edge containment.
- Update site furnishings with a district-wide standard.
- Refinish or replace fence around play ground.
- Install path south along side of detention basin and with adjoining property; create connection to Bond Regional Trail.



Bicentennial Park

- Investigate parking lot drainage to address standing water on pavement and on adjacent turf areas
- Seal coat path
- Add marquee sign on Logsdon Lane to “brand” and identify park.
- Develop defined edge at volleyball court to contain sand
- Consolidate play areas into integrated play environment
- Provide shade for play and sitting areas
- Legitimize basketball court as separate play court (remove from parking lot)



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Existing Buffalo Grove Parks

Bison Park

- Crack-fill, reseal and re-stripe parking lot to make stalls and handicap parking clearly visible.
- Install handicap sign at parking stall per code.
- Develop standard park information sign with decorative support post.
- Install accessible surface to bench located near the park entrance.
- Provide a portable washroom enclosure and porta-john in the vicinity of the soccer field and ballfield areas.



Cambridge Park

- Tennis courts will require resurfacing long term. Short term crack filling and recoat is warranted.
- Benches should have accessible connection to adjacent features and pathways.
- Play apparatus is aging and should be scheduled for replacement.



Candlewood Detention

- Install native plantings with interpretive signage to improve public understanding of natural areas and reduce maintenance.
- Install a park sign.



Canterbury Park

- Master plan for playground when time for equipment replacement to consolidate/ reduce play area and connect all park elements
- Naturalize detention area not needed for open play area to minimize mowing
- Develop connection from Port Road to playground and main activity area
- Install mulch rings on ornamental and canopy trees



Comprehensive Master Plan 2017
Existing Buffalo Grove Parks

Cherbourg Park

- Repair all cracks and damaged asphalt at basketball court area.
- Install edge containment for sand volleyball court.
- Repair or replace sand volleyball posts and net.
- Rake and remove all rocks and debris from sand volleyball court and add sand for depth
- Plant additional shade trees at bench locations
- Recut to better define plant bed at park entrance sign.
- Trim daylilies below park entrance sign to allow for sign's full visibility.
- Top-dress all plant bed areas and tree rings with additional mulch



Cherbourg Park



Cherbourg Park



Cherbourg Park



Children's Park

Children's Park

- Remove backstop
- Plant native trees along the Fremont Way frontage
- Add perennials around marquee sign to better define and "brand" park



Children's Park



Children's Park

Churchill Park

- Repair all cracks and damaged asphalt within parking lot.
- Plant additional shade trees around parking lot perimeter to provide additional shade.
- Trim miscellaneous branch growth at the base of recently planted trees within turf areas.
- Trim and cut back all hazardous branches hanging over asphalt path within conservation area.
- Recut or define plant bed at park entrance sign.
- Plant additional low planting at park sign to supplement vegetation.



Churchill Park



Churchill Park



Churchill Park



Cooper Park

Cooper Park

- Provide an accessible pathway system from the parking lot to the ballfields.
- Provide an accessible internal path way system from ballfield to ballfield.
- Remove overgrown burning bush hedge from outfield area
- Remove “lip” from the perimeter of the infield mix area



Cooper Park



Cooper Park

Comprehensive Master Plan 2017

Existing Buffalo Grove Parks

Crossings Pond

- Improve access to water for fishing
- Selective pruning of buckthorn and honeysuckle along path to open up views
- Sealcoat and stripe parking lot, add accessible parking space
- Install District standard marquee signage



Emmerich Park (west)

- General condition is good – continued general maintenance.
- Consider expansion of play apparatus for additional age groups.



Emmerich Park (east)

- Conduct a tree risk assessment and pruning along the creek to remove dead limbs.
- Replace dead/removed trees and establish an overall tree replacement program.
- Regrade outfield turf edge of infield to remove soil lip. Consider altering infield dragging to figure 8 pattern to reduce mounding.
- Replace gate at far eastern end of park.



Frenchmens Cove

- Provide an accessible pathway system into the park
- Provide additional site furnishings i.e. benches, spectator bleacher areas with accessible surfacing.
- Remove and replace two dead trees.



Frenchmens Cove



Frenchmens Cove

Green Lake Park

- Update seating area with new trash receptacles to replace existing.
- Consolidate picnic tables to main area by the pond to allow unobstructed paved access to all picnic and seating areas.
- Reset and tighten tennis court netting to eliminate sagging.
- Repair all cracks and damaged asphalt at basketball court area.
- Plant additional shade trees at bench locations surrounding playground area to provide additional shade to each seating area.
- Plant additional low planting at park sign to supplement existing vegetation.



Green Lake Park



Green Lake Park



Green Lake Park



Green Lake Park

Comprehensive Master Plan 2017

Existing Buffalo Grove Parks

Happy Tails Dog Park

- In conjunction with Metra, improve signage to direct users through the parking lot.
- Install a park sign at the end of the lot/path connection to signal arrival at the park.
- Remove extra fencing to facilitate maintenance of planting beds.
- Install screening for the portable toilet.
- Install signage for users approaching on foot from the south.



Highland Point Park/Detention

- Install native plantings with interpretive signage to improve public understanding of natural areas.
- Enhance park sign with additional plantings.
- Install additional signage at neighborhood connections.
- Consider installing play apparatus in areas outside of the detention area. As the neighborhood east of Weiland Rd. is well served by other parks; consider tot-lot or alternative apparatus designs.



Ivy Hall School and Park

- Develop accessible routes to play activity areas
- Traffic calming on street in conjunction with Village of Buffalo Grove
- Develop public walk along Clohesey Drive from terminus at north end of park along Clohesey, Aspen, and Penny Lane
- Develop interior park circulation system connecting activity areas and provide accessible routes between activities



Kilmer Park

- Outfield turf requires additional weed management and reseeding/rolling
- Volleyball court area turf should be reseeded.
- Skate area could be looked at in the future for expansion opportunity



Lions Park

- Replace shrubs around the circle seating area
- Install additional ornamental plantings at the entrance and along the walking path



Comprehensive Master Plan 2017

Existing Buffalo Grove Parks

Longfellow Park

- Improve accessibility into the park from the parking lot.
- Remove and replace the Pre-school age playground structure with multi-level vibrant play structure with sensory panels
- Furnish and install a concrete containment barrier curb around new apparatus and existing swing feature.
- Furnish and install a concrete containment barrier curb around existing School-age play area
- Provide min. 12” engineered wood fiber play surfacing in both play areas
- Furnish and install age-appropriate signage for both play areas.
- Provide paved accessibility into both play areas.
- Furnish and install a concrete containment barrier curb around the workout/fitness training area.
- Provide paved accessibility into the workout/fitness training area
- Provide new basketball court surface
- Provide new basketball goal post and net
- Provide accessible pathway to benches and site furnishings.
- Provide paved area for picnic tables.



Martha Weiss Park

- Expand swings to include additional belt swing stations
- Add shade (trees or shelters) to provide shade to existing benches for the 2-5 play area
- Add additional benches for caregivers observing play activities.



Mike Rylko Community Park

- Update park sign to be consistent with district standard.
- Repair or replace sand volleyball posts and net.
- Plant additional low planting at park sign and parking lot
- Provide additional maintenance to damaged or stressed turf areas.
- Top-dress all plant bed areas with additional mulch to provide sufficient amount and depth.



Spray N' Play

- Repair all cracks and damaged asphalt within parking lot.
- Plant additional shade tree and low shrub plantings around the perimeter of the facility



Comprehensive Master Plan 2017

Existing Buffalo Grove Parks

Golf and Sports Center

- Repair all cracks and damaged asphalt within parking lot and between softball fields.
- Plant additional shade trees around parking lot perimeter
- Provide additional maintenance to damaged or stressed turf areas.
- Top-dress all plant bed areas with additional mulch



Fitness Center

- Repair all cracks and damaged asphalt within parking lot.
- Replace parking lot light pole and fixtures with more contemporary style.
- Top-dress all plant bed areas with additional mulch, provide sufficient amount and depth.
- Plant additional shade trees and low shrub plantings around parking lot perimeter and within parking lot islands
- Provide additional maintenance and weed control to damaged or stressed turf areas.



Mill Creek Park

- Play apparatus has aged and should be scheduled for replacement.
- Surrounding finish grade of the turf should equal the top of the playground barrier curb—strip existing turf area (3' max) and provide clean topsoil and seed.
- Repair eroded areas along the banks of the existing water channel – stabilize and seed.
- Repair concrete/brick pavement at park entrance.
- Provide new basketball court surface (color coat with striping)
- Provide new basketball goal post and net standards
- Provide accessible pathway to benches and site furnishings.
- Remove and replace dead tree.



Comprehensive Master Plan 2017

Existing Buffalo Grove Parks

Mirielle Park

- Remove all weeds at the base of the exterior perimeter of tennis court fencing.
- Recut to better define plant bed at park entrance sign.
- Top-dress all plant bed areas and tree rings with additional mulch to provide sufficient amount and depth.
- Provide additional maintenance and weed control to damaged or stressed turf areas.



Nicole Park/Site 21

- Replace marquee signage with District standard
- Standardize site furnishings to match District standard
- Evaluate and develop access to park from east



Northwood Park/Detention Basin

- Evaluate the possibility of a walking path around the basin.
- Install native plantings with interpretive signage
- Replace park sign and enhance with plantings.



Old Farm Park

- Regrade or install edge containment around ballfield fences to control spread of infield mix.
- Install mulch around the trees.
- Create access to and interaction points around pond.
- Install edge containment around playground and screening for portable toilet
- Update site furnishings with a ditrict-wide standard.
- Enhance plantings around the park sign.
- Create a connection from the south field and playground to the pond and north field.
- Consider a walking path around the pond.



Comprehensive Master Plan 2017
Existing Buffalo Grove Parks

Oxford Park

- Install marquee sign to identify property including rules/regulations for park use.

Parkchester Park

- Install park signage at neighborhood connections.
- Add pavement up to and around benches for accessibility.
- Create access to and interaction points around pond.
- Regrade or install edge containment around ballfield fences to control spread of infield mix.
- Remove all courts and reinstall with compacted subgrade and adequate base material
- Replace asphalt path around playground to eliminate lip along concrete curb.
- Replace dead and declining trees.



Prairie Grove Park

- Recut to better define plant bed and remove all weeds present at park entrance sign.
- Plant additional low planting at park sign to supplement existing vegetation.
- Update seating area with new trash receptacles to replace existing.
- Plant additional shade trees at bench and picnic table locations surrounding play ground area to provide additional shade to each seating area.
- Top-dress all plant bed areas and tree rings with additional mulch to provide sufficient amount and depth.



Prairie School and Park

- Marquee signage to identify Buffalo Grove Park District facility
- Wayfinding signage on path network to identify overall path network
- Develop a more direct path connection from the Lyon Court cul de sac to the northeast corner of the parking lot behind the school

Comprehensive Master Plan 2017

Existing Buffalo Grove Parks

Raupp Memorial Museum and Park

- Address the alligator cracking near the sidewalk.
- Relocate the existing marquee sign closer to the street to increase visibility
- Consider transitioning areas below heavy tree canopy to east (right) of entry drive to plantings that tolerate heavy shade
- Add mulch rings around tree bases to preserve moisture, add organic matter to soil and minimize mowing requirements
- Shade structure for potential outdoor activities at the museum
- Revising parking pattern for more efficient traffic movement
- Outdoor education classroom in conjunction with museum
- Group plantings to consolidate planting beds and improve mowing efficiency



Reservoir #7

- Clean up and remove all debris and loose material from planting bed areas.



Reservoir #7

Rolling Hills Park

- When replacing wooden fences include mow strips or concrete collars around post bases
- Provide shade for benches
- Provide wheelchair accessible benches at play area
- Provide accessible ramp into the play area
- Mulch rings for trees to improve mowing efficiencies and appearance



Rolling Hills Park

Rolling Hills North Park

- Naturalizing significant portions of the area north of the Commonwealth Edison right of way to reduce mowing requirements
- Potential for parking lot to serve as trail head for regional trail network.
- Develop wayfinding signage that integrates Rolling Hills North Park into the regional trail network
- Develop shade shelters for park patrons



Rolling Hills Park



Rolling Hills Park



Rolling Hills North Park



Rolling Hills North Park

Comprehensive Master Plan 2017

Existing Buffalo Grove Parks

Sommerset Detention

- Install native plantings with interpretive signage to improve public understanding of natural areas and reduce maintenance.
- Install a park sign.



Tartan Park

- Install mulch around the trees.
- Enhance plantings around the park sign.
- Replace dead trees.
- Update site furnishings.



Twin Creeks Park

- Plant additional low shrubs and perennials around clubhouse and flagpole areas
- Plant additional low planting at park sign to supplement existing vegetation.
- Provide additional maintenance and weed control to damaged or stressed turf



Veterans Park

- Enhance park entrance with improved drive way flare, ornamental fencing, landscaping, and sign relocation.
- Adjust pavement at handicap access to parking lot to eliminate abrupt grade changes.
- Relocate picnic area so that it is more a part of the park.
- Add pavement up to and around benches for accessibility.
- Install edge containment around playground.
- Regrade or install edge containment around ballfield fences to control spread of infield mix.
- Ballfield fence, tennis court fence, and tennis net posts should be a moderately high priority for replacement.
- Update site furnishings.



Comprehensive Master Plan 2017

Existing Buffalo Grove Parks

Weidner Park

- Park District to develop site furniture standards – provide bench that meets District standards.
- Provide accessible pathway to benches and site furnishings.
- Furnish and install small gazebo structure to provide focal element and central gathering place within the park space.



Wellington Commons Park & Detention

- Update central seating area with new benches and trash receptacles.
- Repair central seating area asphalt pavement surfacing.
- Plant additional shade tolerant shrubs and perennials to surround central seating area.



Westchester Park

- Install edge containment for sand volleyball court.
- Remove all weeds from sand volleyball court and add sand to provide adequate depth for play.
- Plant additional low planting at park sign to supplement existing vegetation.
- Repair damaged or patchy lawn areas by over-seeding with appropriate turf mix.



Willow Stream Park

- Repair cracking and weather damage to basketball court's asphalt pavement.
- Add edge containment to north, older playground area to provide sufficient play surface border and to remain consistent with the rest of the park.
- Repair south parking lot asphalt pavement to correct several pot holes and major cracking.
- Repair damaged or patchy lawn areas by over-seeding with appropriate turf mix.



Windfield Park and Detention

- Improve entrance identification



Comprehensive Master Plan 2017

Existing Buffalo Grove Parks

Windsor Ridge Park

- Parking lot should be resurfaced.
- Replace dead trees.
- Basketball court area should be recoated and striped.
- Replace low chain link fence separating basketball court and playground or consider having the fence recoated



Woodland Park

- Standardize site furnishings to Buffalo Grove Park District “brand”
- Standardize marquee signage on both Buffalo Grove Road and Half Day Road
- Naturalize detention basin
- Develop accessible routes to both sides of courts
- Develop wayfinding signage for loop trail to indicate distances
- Develop accessible path to porta-potty
- Develop court resurfacing program to address bird baths and surface drainage issues
- Add mulch rings around canopy and ornamental trees for protection
- Investigate subsurface moisture issues





BUFFALO
GROVE
PARK
DISTRICT

Comprehensive Master Plan

Implementation



- Executive Summary
- Introduction
- History
- Community Profile and Demographics
- Visioning
- Park Classifications
- Benchmarking
- Facilities Assessment
- Park Operations and Recreational Programming
- Park Assessments
- Maps
- Sustainability
- Recommendations
- Implementation**
- Conclusion

XVII Implementation

While there is often strong interest in new large-scale projects, it is also important to upgrade many of the smaller parks. The following outlines enhancement initiatives that should be considered for each park based on PRI's inventory and assessment, as well as the findings from the visioning process and our understanding of each BGPD park. These recommendations are also based on a general understanding of the funding opportunities that may be appropriate for future projects. In general, all the BGPD parks are well maintained and in generally fair condition. However, a program should be established to develop Park District standardized site furnishings. The use of consistent styles of furnishings will help brand the Park District.

The recommendations are divided into the following priorities:

A. First Priority Recommendations

Recommendations identified as first priority should be initiated within the next two years. These priorities are deemed important because they represent current needs and initiatives, as well as initiatives relative to safety.

B. Second Priority Recommendations

The second priority recommendations should be implemented in a range of two to four years depending on conditions, trends and funding opportunities.

C. Third Priority Recommendations

Third priority recommendations present

improvements that should be completed to expand the use of the park, or replacement of park amenities that are still viable, but need to be scheduled for replacement within this planning period.

Costs following each improvement recommendation represent 2017 dollars for installation only. Additional cost such as A/E fees, mobilization, demolition, permitting, and soil erosion and sediment control. will be required.

Summary of Priority costs

Priority A - \$1,003,225

Priority B - \$590,000

Priority C - \$2,047,000

ALCOTT CENTER

Priority	Recommendation	Estimated Cost
A	Ballfield western edge should have new containment edging for infield mix and possible regrading to reduce runoff onto bike path	\$15,000
B	New bike racks should be installed and relocated away from ballfield fence	\$5,000
C	Ballfield fence and backstop should be scheduled for replacement	\$35,000
C	Long Term – Front parking lot area should be resurfaced	\$52,000

APTAKISIC PARK

Priority	Recommendation	Estimated Cost
A	Regrade ballfield or install edging to reduce erosion of infield mix	\$10,000
B	Regrade turf along edges of asphalt path to eliminate abrupt elevation changes	\$2,500
B	Extend walls around the picnic area to maintain a consistent level of woodchip surfacing	\$20,000
B	Install additional landscaping to improve curb appeal	\$2,500
C	Update site furnishings	\$5,000

APPLE HILL PARK

Priority	Recommendation	Estimated Cost
A	Install mulch around the trees	\$800
A	Expand volleyball court with overrun area and install edge containment	\$10,000
B	Enhance park sign with groundcover and perennial plants	\$1,500
B	Eliminate abrupt grade change along ballfield backstop by installing raised concrete curb	\$6,000
B	Refinish or replace fence around playground	\$8,000
B	Update site furnishings with a district-wide standard	\$6,000

Comprehensive Master Plan 2017

Priority	Recommendation	Estimated Cost
A	Investigate parking lot drainage to address standing water on pavement and on adjacent turf areas	\$1,000
A	Seal coat path	\$2,000
A	Add marquee sign on Logsdon Lane to “brand” and identify park.	\$2,500
B	Develop defined edge at volleyball court to contain sand	\$8,000
B	Provide shade for play and sitting areas	\$10,000
B	Legitimize basketball court as separate play court (remove from parking lot)	\$20,000
C	Consolidate play areas into integrated play environment	\$200,000

BICENTENNIAL PARK

Priority	Recommendation	Estimated Cost
A	Crack-fill, reseal and restripe parking lot to make stalls and handicap parking clearly visible	\$6,000
A	Install handicap sign at parking stall per code	\$500
B	Install accessible surface to bench located near the park entrance	\$1,000
B	Provide a portable washroom enclosure and porta-john in the vicinity of the soccer field and ballfield areas	\$4,500
C	Develop standard park information sign with decorative support post	\$1,500

BISON PARK

Priority	Recommendation	Estimated Cost
A	Repair cracks and recoat tennis court surface	\$24,000
A	Benches should have accessible connection to adjacent features and pathways	\$1,000
C	Remove and replace tennis courts	\$130,000
C	Play area Redevelopment	\$150,000

CAMBRIDGE PARK

CANDLEWOOD DETENTION

Priority	Recommendation	Estimated Cost
A	Install a park sign with ornamental plantings	\$3,500
C	Install native plantings with interpretive signage to improve public understanding of natural areas and reduce maintenance	\$8,000

CANTERBURY PARK

Priority	Recommendation	Estimated Cost
A	Develop connection from Port Clinton Road to playground and main activity area	\$20,000
B	Naturalize detention area not needed for open play area to minimize or reduce mowing requirements	\$4,000
B	Install mulch rings on ornamental and canopy trees	\$1,000
C	Play area redevelopment	\$200,000

CHERBOURG PARK

Priority	Recommendation	Estimated Cost
A	Trim/divide daylilies below park entrance sign to allow for sign's full visibility and redifine bed edge	\$1,000
A	Repair all cracks and damaged asphalt at basketball court area	\$5,000
B	Install edge containment for sand volleyball court, rake sand to remove debris and top dress with new sand, and repair or replace net and posts	\$12,500
B	Plant additional shade trees at bench locations to provide additional shade to each seating area.	\$6,000
B	Top-dress all plant bed areas and tree rings with additional mulch to provide sufficient amount and depth	\$1,000

Comprehensive Master Plan 2017

Priority	Recommendation	Estimated Cost
A	Plant native trees along the Fremont Way frontage	\$6,000
B	Remove backstop	\$1,000
B	Add perennials around marquee sign to better define and “brand” park	\$0,000

CHILDREN’S PARK

Priority	Recommendation	Estimated Cost
A	Repair all cracks and damaged asphalt within parking lot	\$7,500
A	Trim and cut back all hazardous branches hanging over asphalt path within conservation area and prune trees in park	\$5,000
B	Plant additional shade trees around parking lot perimeter to provide additional shade	\$7,500
C	Recut or define plant bed at park entrance sign and plant additional low planting to supplement existing vegetation	\$3,000

CHURCHILL PARK

Priority	Recommendation	Estimated Cost
A	Provide an accessible pathway system from the parking lot to the ball-fields and between ballfields	\$15,000
B	Remove overgrown burning bush hedge from outfield area	\$500
B	Remove “lip” from the perimeter of the infield mix area	\$1,000

COOPER PARK

CROSSINGS POND

Priority	Recommendation	Estimated Cost
A	Improve access to water for fishing	\$20,000
A	Selective pruning of buckthorn and honeysuckle along path to open up views	\$2,500
B	Install District standard marquee signage	\$2,500
B	Sealcoat and stripe parking lot, add ADA parking space	\$1,500

EMMERICH PARK

Priority	Recommendation	Estimated Cost
C	Expand play apparatus for additional age groups	\$125,000

EMMERICH PARK (EAST)

Priority	Recommendation	Estimated Cost
A	Regrade outfield turf edge of infield to remove soil lip.	\$2,000
A	Conduct a tree risk assessment and pruning along the creek to remove dead limbs	\$15,000
B	Replace dead/removed trees and establish an overall tree replacement program	\$3,000
B	Replace gate at far eastern end of park	\$2,000

Comprehensive Master Plan 2017

Priority	Recommendation	Estimated Cost
A	Provide an accessible pathway system into the park	\$5,000
A	Provide additional site furnishings i.e. benches, spectator bleacher areas with accessible surfacing	\$25,000
B	Remove and replace two dead trees	\$1,500

FRENCHMENS COVE

Priority	Recommendation	Estimated Cost
A	Repair all cracks and damaged asphalt at basketball court area	\$2,500
B	Plant additional shade trees at bench locations surrounding playground area to provide additional shade to each seating area	\$4,000
B	Update seating area with new trash receptacles to replace existing	\$4,000
B	Consolidate picnic tables to main area by the pond to allow unobstructed paved access to all picnic and seating areas	\$0
C	Plant additional low planting at park sign to supplement existing vegetation	\$1,000

GREEN LAKE PARK

Priority	Recommendation	Estimated Cost
A	In conjunction with Metra, improve signage to direct users through the parking lot	\$2,000
A	Install a park sign with ornamental plantings at the end of the lot/ path connection to signal arrival at the park	\$3,500
B	Install signage for users approaching on foot from the south	\$750
B	Install screening for the portable toilet	\$4,500
C	Install screening for the portable toilet	\$3,000

HAPPY TAILS DOG PARK

**HIGHLAND POINT PARK AND
DETENTION**

Priority	Recommendation	Estimated Cost
A	Install additional signage at neighborhood connections	\$2,500
B	Enhance park sign with additional plantings	\$1,500
C	Install native plantings with interpretive signage to improve public understanding of natural areas and reduce mowing	\$15,000
C	Consider installing play apparatus in areas outside of the detention area.	\$125,000

IVY HALL SCHOOL AND PARK

Priority	Recommendation	Estimated Cost
A	Install perimeter walks	\$64,000
A	Develop interior park circulation system connecting activity areas and providing accessible routes between activities	\$25,000

KILMER SCHOOL AND PARK

Priority	Recommendation	Estimated Cost
A	Outfield turf may require additional weed management and reseeding/ rolling to maintain consistent high level play for this league.	\$2,000
A	Volleyball court area turf should be reseeded	\$2,000
C	Skate area could be looked at in the future for expansion opportunity if demand is present	\$60,000

Comprehensive Master Plan 2017

Priority	Recommendation	Estimated Cost
B	Replace shrubs around the circle seating area to provide improved visibility and security	\$5,000
B	Additional ornamental plantings at the entrance and along the walking path will improve experience for park users	\$3,000

LIONS PARK

Priority	Recommendation	Estimated Cost
A	Improve ADA access into the park from the parking lot	\$1,000
A	Provide min. 12” engineered wood fiber play surfacing (after compaction) within both play areas	\$1,500
A	Provide paved ADA access into the workout/fitness training area	\$1,000
A	Provide paved ADA access into both play areas	\$1,000
A	Provide accessible pathway to benches and site furnishings	\$2,000
B	Furnish and install a concrete containment barrier curb around all apparatus areas and fitness equipment area	\$16,000
B	Furnish and install age-appropriate signage for both play areas	\$1,000
B	Provide paved area for picnic tables	\$5,000
C	Provide new basketball court surface (color coat with striping)	\$6,000
C	Provide new basketball goal post and net standards	\$10,000
C	Remove and replace the Pre-school age playground structure with multi-level vibrant play structure with sensory panels that are compatible with the existing School –age structure by Landscape Structures	\$125,000

LONGFELLOW SCHOOL AND PARK

Priority	Recommendation	Estimated Cost
A	Add additional benches for caregivers observing play activities	\$5,000
B	Add shade trees to provide shade to existing benches for the 2-5 play area	\$3,000
C	Expand swings to include additional belt swing stations	\$3,000

MARTHA WEISS PARK

MIKE RYLKO COMMUNITY PARK

Priority	Recommendation	Estimated Cost
A	Repair or replace sand volleyball posts and net	\$2,500
A	Provide additional maintenance to damaged or stressed turf areas	\$2,000
A	Top-dress all plant bed areas with additional mulch to provide sufficient amount and depth	\$1,250
B	Plant additional low planting at park sign and parking lot to supplement existing vegetation and enhance visual interest	\$1,500
C	Update and replace park sign to be consistent with district standard	\$2,500

MIKE RYLKO GOLF AND SPORTS COMPLEX

Priority	Recommendation	Estimated Cost
A	Repair all cracks and damaged asphalt within parking lot and between softball fields	\$7,500
A	Provide additional maintenance to damaged or stressed turf areas	\$2,000
A	Top-dress all plant bed areas with additional mulch to provide sufficient amount and depth	\$1,250
B	Plant additional shade trees around parking lot perimeter to provide additional shade	\$10,000

FITNESS CENTER

Priority	Recommendation	Estimated Cost
A	Repair or replace sand volleyball posts and net	\$2,500
A	Provide additional maintenance to damaged or stressed turf areas	\$2,000
A	Top-dress all plant bed areas with additional mulch to provide sufficient amount and depth	\$1,250
B	Plant additional low planting at park sign and parking lot to supplement existing vegetation and enhance visual interest	\$1,500
C	Replace parking lot light pole and fixtures with more contemporary style	\$80,000

Comprehensive Master Plan 2017

Priority	Recommendation	Estimated Cost
A	Repair all cracks and damaged asphalt within parking lot	\$7,500
B	Plant additional shade tree and low shrub plantings around the perimeter of the facility to supplement the existing evergreen trees and to enhance the visual buffer from the surrounding area	\$10,000

MIKE RYLKO SPRAY 'N PLAY

Priority	Recommendation	Estimated Cost
A	Remove and replace dead tree	\$800
A	Provide accessible pathway to benches and site furnishings	\$2,500
B	Level turf outside of playground to meet top of playground curb and reseed	\$3,000
B	Repair and stabilize eroded areas along water channel	\$10,000
B	Provide new basketball court surface (color coat with striping), and new basketball standards	\$10,000
B	Repair concrete/brick pavement at park entrance	\$5,000
C	Play apparatus has aged and should be scheduled for replacement.	\$150,000

MILL CREEK PARK

Priority	Recommendation	Estimated Cost
A	Provide additional maintenance and weed control to damaged or stressed turf areas	\$2,000
B	Remove all weeds at the base of the exterior perimeter of tennis court fencing	\$500
B	Top-dress all plant bed areas with additional mulch to provide sufficient amount and depth	\$1,000
B	Recut to better define plant bed at park entrance sign	\$500

MIRIELLE PARK

NICOLE PARK/ SITE 21

Priority	Recommendation	Estimated Cost
A	Replace park sign with district standard	\$2,500
B	Standardize site furnishings to match District standard	\$10,000
C	Evaluate and develop access to park from east	\$25,000

NORTHWOOD PARK AND DETENTION

Priority	Recommendation	Estimated Cost
A	Replace park sign and enhance with plantings	\$3,500
B	Install native plantings with interpretive signage to improve public understanding of natural areas and reduce maintenance	\$15,000
B	Evaluate the possibility of a walking path around the basin	\$40,000

OLD FARM PARK

Priority	Recommendation	Estimated Cost
A	Install edging around ballfield fences to control spread of infield mix	\$10,000
B	Create a connection from the south field and playground to the pond and north field	\$20,000
B	Create access to and interaction points around pond	\$10,000
B	Install edge containment around playground	\$7,500
B	Install screening for the portable toilet	\$4,500
B	Update site furnishings with a district-wide standard	\$10,000
B	Enhance plantings around the park sign	\$1,500
C	Consider a walking path around the pond with bridge over creek	\$60,000

Comprehensive Master Plan 2017

Priority	Recommendation	Estimated Cost
A	Install marquee sign to identify property including rules/regulations for park use.	\$2,500

OXFORD PARK

Priority	Recommendation	Estimated Cost
A	Install edging around ballfield fences to control spread of infield mix	\$10,000
A	Add pavement up to and around benches for accessibility	\$1,000
A	Replace dead and declining trees	\$3,000
B	Replace asphalt path around playground to eliminate lip along concrete curb	\$6,000
B	Install park signage at neighborhood connections	\$2,500
B	Create access to and interaction points around pond	\$30,000
C	Remove all courts and reinstall with compacted subgrade and adequate base material to reduce major cracks. Install with proper pitch to improve drainage	\$160,000

PARKCHESTER PARK

Priority	Recommendation	Estimated Cost
A	Update seating area with new trash receptacles to replace existing	\$3,000
A	Plant additional shade trees at bench and picnic table locations surrounding playground area to provide additional shade to each seating area	\$5,000
B	Top-dress all plant bed areas with additional mulch to provide sufficient amount and depth	\$1,000
B	Recut to better define plant bed at park entrance sign, remove weeds, and plant additional low plantings to supplement existing vegetation	\$1,500

PRAIRIE GROVE PARK

PRAIRIE SCHOOL AND PARK

Priority	Recommendation	Estimated Cost
A	Marquee signage to identify Buffalo Grove Park District facility	\$2,500
B	Develop a more direct path connection from the Lyon Court cul de sac to the northeast corner of the parking lot behind the school	\$12,000
C	Wayfinding signage on path network to identify overall path network and destination options for walking path	\$3,000

RAUPP MEMORIAL MUSUEM AND PARK

Priority	Recommendation	Estimated Cost
A	Investigate cause of driveway pavement failure	\$1,000
B	Install new park sign in new location	\$2,500
B	Install shade tolerant plants east of the driveway	\$5,000
B	Install mulch rings around trees	\$1,000
B	Replace benches	\$10,000
C	Shade Structure for potential outdoor activities at the musuem	\$35,000
C	Revising parking pattern for more efficient traffic movement	\$2,000
C	Outdoor education classroom in conjunction with museum	\$100,000
C	Consolidate planting beds to improve mowing efficiency	\$5,000

RESERVOIR #7

Priority	Recommendation	Estimated Cost
A	Clean up and remove all debris and loose material from planting bed areas	\$500

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Priority	Recommendation	Estimated Cost
A	Provide wheelchair accessible benches at play area	\$5,000
A	Provide accessible ramp into the play area	\$1,250
A	Mulch rings for trees to improve mowing efficiencies and appearance	\$750
B	Install mow strip along base of fence	\$5,000
B	Provide shade trees for benches	\$3,000

ROLLING HILLS PARK

Priority	Recommendation	Estimated Cost
B	Develop wayfinding signage that integrates Rolling Hills North Park into the regional trail network and indicates what facilities are available on-site	\$1,500
B	Develop shade shelters for park patrons	\$30,000
B	Naturalizing significant portions of the area north of the Commonwealth Edison right of way to reduce mowing requirements	\$12,500
C	Create trailhead for regional trail with benches, information kiosk, and shade	\$15,000

ROLLING HILLS NORTH PARK

Priority	Recommendation	Estimated Cost
A	Install a park sign with ornamental plantings	\$3,500
C	Install native plantings with interpretive signage to improve public understanding of natural areas and reduce maintenance	\$8,000

SOMMERSET DETENTION

TARTAN PARK

Priority	Recommendation	Estimated Cost
A	Install mulch around the trees	\$1,000
A	Replace dead trees	\$2,500
B	Enhance plantings around the park sign	\$3,500
B	Update site furnishings	\$6,000

TWIN CREEKS PARK

Priority	Recommendation	Estimated Cost
A	Provide additional maintenance and weed control to damaged or stressed turf areas	\$2,000
B	Plant additional low shrubs and perennials around clubhouse and flagpole areas to complement each element and to enhance visual interest	\$5,000
B	Plant additional low planting at park sign to supplement existing vegetation	\$1,000

VETERANS PARK

Priority	Recommendation	Estimated Cost
A	Adjust pavement at handicap access to parking lot to eliminate abrupt lip	\$1,000
A	Add pavement up to and around benches for accessibility	\$1,500
A	Install edging around ballfield fence to control spread of infield mix	\$10,000
B	Relocate picnic area so that it is more a part of the park	\$1,000
B	Enhance park entrance with improved driveway flare, ornamental fencing, landscaping, and sign relocation	\$20,000
B	Install edge containment around playground	\$7,000
C	Update site furnishings	\$8,000
C	Ballfield fence, tennis court fence, and tennis net posts should be a moderately high priority for replacement	\$75,000

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Priority	Recommendation	Estimated Cost
A	Provide accessible pathway to benches and site furnishings	\$1,500
B	Provide benches that meet park district standard	\$5,000
C	Furnish and install small gazebo structure to provide focal element and central gathering place within the park space	\$20,000

WEIDNER PARK

Priority	Recommendation	Estimated Cost
B	Update central seating area with new benches and trash receptacles	\$15,000
B	Repair central seating area asphalt pavement surfacing	\$5,000
B	Plant additional shade tolerant shrubs and perennials to surround central seating area	\$5,000

WELLINGTON COMMONS PARK AND DETENTION

Priority	Recommendation	Estimated Cost
A	Install edge containment for sand volleyball court, remove weeds, and add sand for adequate depth for play	\$10,000
A	Repair damaged or patchy lawn areas by overseeding with appropriate turf mix	\$2,000
B	Plant additional low planting at park sign to supplement existing vegetation	\$1,000

WESTCHESTER PARK

WILLOW STREAM PARK

Priority	Recommendation	Estimated Cost
A	Repair south parking lot asphalt pavement to correct several pot holes and major cracking	\$500,000
B	Repair cracking and weather damage to basketball court's asphalt pavement	\$22,500
B	Install edge containment around older playground	\$2,750
B	Repair damaged or patchy lawn areas by overseeding with appropriate turf mix	\$10,000

WINDFIELD PARK AND DETENTION

Priority	Recommendation	Estimated Cost
B	Improve entrance identification	\$2,500

WINDSOR RIDGE PARK

Priority	Recommendation	Estimated Cost
A	Parking lot should be resurfaced	\$60,000
B	Replace dead trees	\$3,000
B	Replace low chain link fence separating basketball court and playground or consider having the fence recoated/repainted	\$5,000
B	Basketball court area should be recoated and striped	\$1,000

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WOODLAND PARK

Priority	Recommendation	Estimated Cost
A	Investigate subsurface moisture issues	\$2,500
A	Add mulch rings around canopy and ornamental trees for protection and to improve mowing efficiency and minimize trimming	\$1,000
A	Develop accessible path to porta-potty	\$1,000
A	Develop accessible routes to both sides of courts	\$1,000
B	Standardize site furnishings to meet park district standards	\$15,000
B	Install park sign to match district standard and ornamental plantings	\$3,500
B	Develop wayfinding signage for loop trail to indicate distances	\$1,000
C	Naturalize detention basin to reduce mowing requirements	\$15,000
C	Develop court resurfacing program to address bird baths and surface drainage issues	\$26,000



BUFFALO
GROVE
PARK
DISTRICT

Comprehensive Master Plan

Conclusion



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